

Chairman
ROBERT OLIVER

City Attorney
NICK SAMPINOS

Community Director
NICK TATTON

City Recorder
SHERRIE GORDON



Commission

JUDY BEACCO
NANCY BENTLEY
DALE EVANS
ROBERT OLIVER
RICHARD ROOT
FRANKIE SACCO
JAN YOUNG
ERROLL HOLT, ALT.
TODD THORNE, ALT.

PRICE CITY PLANNING COMMISSION

phone: (435) 636-3184 · Fax: (435) 637-2905

185 E. Main - P.O. Box 893

Price, Utah 84501

PLANNING AND ZONING AGENDA

09/26/2016

THE PRICE CITY PLANNING AND ZONING COMMISSION WILL HOLD THEIR REGULARLY SCHEDULED MEETING ON THE ABOVE DATE AT 6:00 PM IN THE PRICE CITY HALL COUNCIL CHAMBERS (ROOM 104). THE PLANNING AND ZONING COMMISSION CHAIRMAN RESERVES THE RIGHT TO MODIFY THE SEQUENCE OF AGENDA ITEMS IN ORDER TO FACILITATE SPECIAL NEEDS.

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. MINUTES of September 12, 2016
4. PUBLIC COMMENT ON AGENDA ITEMS
5. CONDITIONAL USE PERMIT
 - a. SITE PLAN AMENDMENT - Consideration and possible approval of a site plan amendment to locate the 7th District Judicial Court building at 120 East Main Street within the Commercial 1 zoning district, Seth Oveson, Carbon County.
 - b. BUSINESS OCCUPANCY - Consideration and possible approval of a business occupancy conditional use permit for America Supports One, LLC., to locate a day programming administration business for disabled adults at 214 E 100 N within the Commercial 1 zoning district, Sarah Norton.
 - c. SODA DRIVE UP BUSINESS - Consideration and possible approval of a soda drive up business called Sodalicious, located at 97 E 100 N within the Commercial 1 zoning district, Chad Carlson.
6. UNFINISHED BUSINESS

Note: In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should contact, City Recorder, Sherrie Gordon at 185 E. Main, Price, Utah - Telephone 636-3183 at least 24 hours prior to the meeting. This meeting may be held electronically via telephone to permit one or more of the council members to participate.

**PRICE CITY PLANNING AND ZONING MEETING
MINUTES OF SEPTEMBER 12, 2016**

PRESENT:

Commissioners:

Richard Root	Sherrie Gordon, City Recorder
Jan Young	
Todd Thorne	
Robert Oliver	
Dale Evans	
Judy Beacco	
Frankie Sacco	

EXCUSED: Commissioner Bentley, Commissioner Evans, Commissioner Root, Commissioner Holt-Alternate, and Nick Tatton-Community Director

OTHERS PRESENT: Sheremy McEvoy and Jerica Curtis

1. Chairman Oliver called the meeting to order at 6:00 P.M. He led the Pledge of Allegiance.
2. Roll was called with the above Commissioners and staff present.
3. MINUTES OF August 22, 2016 –
MOTION. Commissioner Thorne moved to approve the minutes of August 22, 2016 as presented. Motion seconded by Commissioner Young and carried.
4. PUBLIC COMMENT ON AGENDA ITEMS –

Jerica Curtis, owner of Chug Drive Thru, addressed the Commissioners. She expressed her concern that another soda shop was coming into Price. She is a local citizen and runs a local business which depends on local support. Sodalicious is a franchise and is coming into town from up north. She asked why a franchise was allowed to move into Price City when a local business already existed. She doesn't feel like there is enough business to support two soda shops. She is trying to protect her business and is concerned if this franchise is allowed to locate in Price.
5. CONDITIONAL USE PERMIT
a. SODA DRIVE UP BUSINESS - Consideration and possible approval of a soda drive up business called Sodalicious, located at 97 E 100 N within the Commercial 1 zoning district, Chad Carlson.

Due to Mr. Carlson's absence to represent the agenda item, Item 5 was recommended to be tabled until such time as Mr. Carlson is able to be present to represent the application. Chairman Oliver also noted that staff has informed him that the Conditional Use Permit fee had not been paid and an application for a business license had not been submitted nor the business license fee paid.

MOTION. Commissioner Sacco moved to table Item 5 until the September 26, 2016 meeting or until such time as Mr. Carlson is able to be present to represent the application. Motion seconded by Commissioner Beacco and carried.
6. UNFINISHED BUSINESS – No unfinished business discussed.

Meeting adjourned at 6:05 p.m. pursuant to a motion by Commissioner Beacco. Motion seconded by Commissioner Thorne and carried.

APPROVED: _____
Chairman Robert Oliver

ATTEST: _____
City Recorder, Sherrie Gordon

Fee: _____



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
☒ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☒ Preliminary
☐ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: Seth Oveson		2. Title: County Clerk / Auditor	
3. Applicant's Mailing Address: 751 East 100 North		4. Suite/Apt. No.: Suite 2700	
5. City: Price	6. State: UT	7. Zip Code: 84501	
8. County: Carbon County		9. Telephone: (435) 636-3226	
Project Information			
10. Name of Project (Business): Carbon County 7th District Court			
11. Address of Proposed Project: 120 East Main Street			
12. Zone District (see attached zoning map): C1			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input checked="" type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input checked="" type="checkbox"/> Water <input checked="" type="checkbox"/> Sewer	15. <input checked="" type="checkbox"/> Excavation <input checked="" type="checkbox"/> Fill Work <input checked="" type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input checked="" type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ <u>300,000</u> b) Buildings \$ <u>11,900,000</u> c) Other \$ _____ Total \$ <u>12,200,000</u>		22. Electrical Load Sheet: (Attach preliminary and final to application)	
		23. Project Plans: <input checked="" type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____	

24. Brief Description of Project:

Demolition of an existing building to make way for new district court building. Construction of new 2-story courthouse with a basement and sally port.

25. Justification (Explain why this project is needed):

Building to replace a facility that no longer meets the requirements of the Utah State Courts, both in security and functionality.

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. State Courts	167 East 100 South Price, UT 84501	(435) 636-3400
2. Wells Fargo	180 East Main Street Price, UT 84501	(435) 637-4522
3. Carbon County Transportation	65 South 100 East Price, UT 84501	(435) 636-3263
27. Estimated Starting Date: 10 / 27 / 2016	28. Estimated Completion Date: 3 / 31 / 2018	29. Has P.R.W.I.D. Sewer Survey Been Submitted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Signature of Property Owner

Date

Please Print Name

Title

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

☒ Approve

☐ Decline

Comments:

11.1 & 11.1.M - land use eval. criteria

11.3.10.2.2 - Exec., legislation, legal functions = C

* Agmt for Inspection of Building

Signature:

Date:

Requires:

☒ Building Permit

☒ Conditional Use Permit

☐ Code Amendment

☐ Board of Adjustments Variance

☐ Flood Plain Development Permit

☐ Other:

SITE PLAN

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.

Commercial / Industrial Customer Information Sheet

*Please complete this form and return to Ken Harney - Price City Utilities
185 East Main Street • P.O. Box 893 • Price, Utah 84501 • Phone No. (435)636-3166 • Fax No. (435)637-2905*

Business Information

Name of Customer's Business: **Carbon County 7th District Court** Address: **120 East Main Street, Price, UT 84501**

Request No:

Phone No:

Fax No:

Person responsible for advance and contract billing (if different than monthly billing customers):

Name:

Address:

Phone No:

Fax No:

E-Mail Address:

Building Square Footage (Note: breakdown into use i.e.: office, warehouse): **32,000 sf**

House of Operation (include days & hours): **M-F 8:00am - 5:00pm; S-Su Closed**

Service Description

Desired Secondary Voltage: ☒ 3 Phase 120 / 208v ☐ 3 Phase 277 / 480v

Note: Not all voltages may be available

☐ 1 Phase 120 / 240v ☐ 1 Phase 120v only ☐ Other

Panel Size (in amps): **2000**

Nearest Pole or Equipment Number:

Type of Service Desired: ☐ Overhead ☒ Underground

Electrical Contractor: **To Be Determined**

Phone No:

Load List (attach additional sheets if necessary)

Description	Phase and Voltage	New Load to be Added	Load to be Removed	Total Connected Load after Changes	Unit
HVAC	208/3	120		120	Tons
Exhaust Fans	120/1	2		2	HP
Electric Heat	120/208/3	5		5	kW
Water Heating	120/1	3		3	kW
Lighting	120/1	42		42	kW
Outlets	120/1	30		30	kW
Office Equipment	120/1	10		10	kW
Kitchen Equipment					kW
Refrigeration Equipment					Tons
Computers, Magnetic Power Supplies	120/1	60		60	kW
Machinery					kW
Thermoplastic Injection Equipment					kW
Elevators	208/3	36		36	kW
Boiler	208/3	12		12	kW
Snow Melting					kW
Signs					kW
X-Ray Equipment					kW
Washer/Dryer					kW
Gas/Fuel/Sump Pump					HP
Small Motors	120/208/3	10		10	HP
Air Compressor					HP
Miscellaneous	120/1	36		36	kW
Heat Exchanger					kW
Humidifier					kW
Swimming Pool					HP
Largest Motor (not included above)	208/3	3		3	HP
Future					kW
Totals (convert to kW)				678	kW

It is important to provide the most accurate information available.

(Customer Signature)

(Date)

Note:

- You may wish to consult a trained professional (electrician, engineer, etc.) prior to providing the information to your estimator.
- Commercial metering can have many restrictions that should be discussed with the estimator prior to the purchase and installation of your metering equipment. There are also restrictions regarding master metering.
- Motors larger than 35hp three phase or 5hp single phase will require approval by our engineering department prior to installation in order to determine the acceptable starting current.



State of Utah Administrative Office of the Courts Carbon County Courthouse

120 East Main Street
Price, Utah 84501

Nexus Project #: 15176

DFCM Project #: 15346150

2 AUGUST 2016

CD PROGRESS SET



CONTACT: Teri Ketchum
PHONE: 801-575-8877

CONTACT: Ryan Boagard
PHONE: 801-528-5111

CONTACT: Dave Westergaard
PHONE: 801-528-5111

CONTACT: Mike Bink
PHONE: 801-528-5111

Structural Engineer
Dunn Associates
360 West 800 South, Suite 100
Salt Lake City, UT 84103

E-MAIL: hutch@dundass.com
INTERNET: www.dunnass.com

MECHANICAL ENGINEER
Spectrum Engineers
324 South State Street, Suite 400
Salt Lake City, UT 84111

E-MAIL: info@spectrum-engineers.com
INTERNET: www.spectrum-engineers.com

ELECTRICAL ENGINEER
Spectrum Engineers
324 South State Street, Suite 400
Salt Lake City, UT 84111

E-MAIL: info@spectrum-engineers.com
INTERNET: www.spectrum-engineers.com

SECURITY / TELECOMMUNICATION
Spectrum Engineers
324 South State Street, Suite 400
Salt Lake City, UT 84111

E-MAIL: info@spectrum-engineers.com
INTERNET: www.spectrum-engineers.com



CONTACT: Seth Oversee
PHONE: 435-626-3224

CONTACT: Brian Sales
PHONE: 801-528-3218

CONTACT: Peter Moyle
PHONE: 801-924-5000

CONTACT: Adam Custer
PHONE: 801-924-5000

CONTACT: Jonathan Johnson
PHONE: 435-381-2623

OWNER
Carbon County
751 East 100 North, Suite 1100
Price, UT 84501

E-MAIL: info@carboncounty.gov
INTERNET: carboncounty.gov

PROJECT MANAGER
DFCM

4110 State Office Building
Salt Lake City, UT 84111

E-MAIL: info@dfcm.gov
INTERNET: dfcm.gov

ARCHITECT
Architectural Nexus

2905 East Parkway Way
Salt Lake City, UT 84109

E-MAIL: info@architecturalnexus.com
INTERNET: www.architecturalnexus.com

LANDSCAPE ARCHITECT
Architectural Nexus

2905 East Parkway Way
Salt Lake City, Utah 84109

E-MAIL: info@architecturalnexus.com
INTERNET: www.architecturalnexus.com

CIVIL ENGINEER
Johansen & Tuttle Engineering

90 South 900 East
Cedar Dale, UT 84513

E-MAIL: info@johansen-tuttle.com
INTERNET: www.johansen-tuttle.com



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MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL																																																																																																																																																																

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NON STRUCTURAL COMPONENT CHECKLIST

NEW INNOVATION	NOT YET-IMP	ON-CURRENT	DEFERRED	COMPLETED
	IMP	IMP	SUBMITTAL	
Architectural Components:				
Interior-Narrative Model (3-D Figures)		2		See pages 103-104
Exterior-Narrative Model (3-D Figures)		2		See Appendix A for 3-D Figures (105)
Exterior-Narrative Model (3-D Figures) (2D)		2		Majority: 1st and 2nd floor (106-107)
Interior-Narrative Model (3-D Figures)		2		Project A: 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854,

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DEFERRED SUBMITTALS LIST

DESCRIPTION	ESTIMATED DATE OF SUBMITTAL (AFTER AWARD DATE)
CONTAINER DELIVERIES	10/20/2015
COMPARISON OF DELIVERIES	10/20/2015
WILL DELIVERIES	10/20/2015
ACCESS FLOORING	10/20/2015
EXTERIOR COILING CLOSURES	10/20/2015
CONCRETE FLOORING	10/20/2015
DRY UTILITIES	10/20/2015
PIPE & WIRE	10/20/2015
PERMITS CONNECTIONS & REPAIRS FOR THE FOLLOWING	
VERTICAL ISOLATED COMPARTMENT	10/20/2015
MECHANICAL & ELECTRICAL, PIPING AND COOLING SYSTEMS	10/20/2015
MECHANICAL & ELECTRICAL, PIPING AND COOLING SYSTEMS	10/20/2015
CABLE PIPES	10/20/2015
REPAIRING PERMISSIBLE COMPONENTS	10/20/2015
REPAIRING PERMISSIBLE COMPONENTS FOR THE FOLLOWING	
PIPE JOINT ASSEMBLIES	10/20/2015
PIPE JOINT ASSEMBLIES FOR PENETRATION THROUGH FIRE WALLS	10/20/2015
EXTERIOR WIND UP PANELS	10/20/2015
WIND UP PANELS	10/20/2015
AIR BRIDGES	10/20/2015

STRUCTURAL OBSERVATIONS [IBC 1704.]

[illegible]

Structural Observer's Study

- Provides proof of licensure as a licensed professional structural engineer by the State of Utah;
- If structural observations are performed by individuals other than the design professional responsible for design, they should first be approved by the Building Official;
- At the conclusion of work a final structural observation report must be submitted to the Building Official naming any deficiencies which, to the best of the structural observer's knowledge, have not been resolved (see UAC 170A-3).

Updated July 22, 2019



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2025 East Parkway Way
Salt Lake City, Utah 84109
T 801 924 2020
<http://www.archnexus.com>

Original drawings within the University of
the Americas, and the University of South
Florida, and the University of the Pacific.
The original drawings are the property
of the University of the Pacific and are
not to be used for any other purpose
without the permission of the University
of the Pacific.

2436

State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Price, Utah 84501

[illegible]

CD
PROGRESS
SET

NEWS PROJECT # 10174
CHECKED BY JMS
DRAWN BY AWP
DATE 2 AUGUST 2018

SPECIAL INSPECTIONS

GI004



Carbon County Courthouse
120 East Main Street
Pocatello, Idaho 83431
Phone: (208) 243-4100
Fax: (208) 243-4101
Website: www.carboncountyoridaho.gov

State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Pocatello, Idaho 83431
Phone: (208) 243-4100
Fax: (208) 243-4101
Website: www.carboncountyoridaho.gov

6. Design

CD PROGRESS SET

DATE: 10/10/2019
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
SCALE: AS SHOWN

GI100

CODE COORDINATION NOTES

- 1. SEE LISTING FOR THE MAKING OF WALL TYPES IN THE FOUNDATION. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
- 2. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
- 3. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
- 4. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
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- 8. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
- 9. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
- 10. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.

IBC 2015 - GENERAL CODE REQUIREMENTS			
SECTION	DESCRIPTION	LEVEL	REMARKS
1.0	FOUNDATION	1.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
2.0	FOUNDATION	2.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
3.0	FOUNDATION	3.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
4.0	FOUNDATION	4.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
5.0	FOUNDATION	5.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
6.0	FOUNDATION	6.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
7.0	FOUNDATION	7.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
8.0	FOUNDATION	8.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
9.0	FOUNDATION	9.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.
10.0	FOUNDATION	10.0	FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IBC.

OCCUPANT LOAD & SPACE SCHEDULE			
Room Number	Room Name	Occupancy Classification	Area (sq ft)
101	RECEPTION	Assembly	100
102	RECEPTION	Assembly	100
103	RECEPTION	Assembly	100
104	RECEPTION	Assembly	100
105	RECEPTION	Assembly	100
106	RECEPTION	Assembly	100
107	RECEPTION	Assembly	100
108	RECEPTION	Assembly	100
109	RECEPTION	Assembly	100
110	RECEPTION	Assembly	100

OCCUPANT LOAD & SPACE SCHEDULE			
Room Number	Room Name	Occupancy Classification	Area (sq ft)
111	RECEPTION	Assembly	100
112	RECEPTION	Assembly	100
113	RECEPTION	Assembly	100
114	RECEPTION	Assembly	100
115	RECEPTION	Assembly	100
116	RECEPTION	Assembly	100
117	RECEPTION	Assembly	100
118	RECEPTION	Assembly	100
119	RECEPTION	Assembly	100
120	RECEPTION	Assembly	100

OCCUPANT LOAD & SPACE SCHEDULE			
Room Number	Room Name	Occupancy Classification	Area (sq ft)
121	RECEPTION	Assembly	100
122	RECEPTION	Assembly	100
123	RECEPTION	Assembly	100
124	RECEPTION	Assembly	100
125	RECEPTION	Assembly	100
126	RECEPTION	Assembly	100
127	RECEPTION	Assembly	100
128	RECEPTION	Assembly	100
129	RECEPTION	Assembly	100
130	RECEPTION	Assembly	100



ce of the Courts
rthouse
120 East Main Street
Price, Utah 84501

Country	Year	Population (millions)	Urban population (millions)	Urban population (%)
Algeria	1990	10.0	4.5	45.0
Algeria	2000	11.5	6.5	56.5
Algeria	2010	13.0	8.5	65.4
Algeria	2020	14.5	10.5	72.4
Algeria	2030	16.0	12.5	78.1
Algeria	2040	17.5	14.5	82.9
Algeria	2050	19.0	16.5	86.8
Algeria	2060	20.5	18.5	90.2
Algeria	2070	22.0	20.5	93.2
Algeria	2080	23.5	22.5	95.7
Algeria	2090	25.0	24.5	98.0
Algeria	2100	26.5	26.5	100.0
Algeria	2110	28.0	28.5	101.8
Algeria	2120	29.5	30.5	103.4
Algeria	2130	31.0	32.5	104.8
Algeria	2140	32.5	34.5	106.1
Algeria	2150	34.0	36.5	107.4
Algeria	2160	35.5	38.5	108.7
Algeria	2170	37.0	40.5	110.0
Algeria	2180	38.5	42.5	111.4
Algeria	2190	40.0	44.5	112.5
Algeria	2200	41.5	46.5	113.3
Algeria	2210	43.0	48.5	114.0
Algeria	2220	44.5	50.5	114.6
Algeria	2230	46.0	52.5	115.0
Algeria	2240	47.5	54.5	115.8
Algeria	2250	49.0	56.5	116.3
Algeria	2260	50.5	58.5	116.8
Algeria	2270	52.0	60.5	117.3
Algeria	2280	53.5	62.5	117.8
Algeria	2290	55.0	64.5	118.2
Algeria	2300	56.5	66.5	118.6
Algeria	2310	58.0	68.5	119.0
Algeria	2320	59.5	70.5	119.4
Algeria	2330	61.0	72.5	119.8
Algeria	2340	62.5	74.5	120.2
Algeria	2350	64.0	76.5	120.6
Algeria	2360	65.5	78.5	121.0
Algeria	2370	67.0	80.5	121.4
Algeria	2380	68.5	82.5	121.8
Algeria	2390	70.0	84.5	122.2
Algeria	2400	71.5	86.5	122.6
Algeria	2410	73.0	88.5	122.9
Algeria	2420	74.5	90.5	123.3
Algeria	2430	76.0	92.5	123.7
Algeria	2440	77.5	94.5	124.1
Algeria	2450	79.0	96.5	124.5
Algeria	2460	80.5	98.5	124.9
Algeria	2470	82.0	100.5	125.3
Algeria	2480	83.5	102.5	125.7
Algeria	2490	85.0	104.5	126.1
Algeria	2500	86.5	106.5	126.5
Algeria	2510	88.0	108.5	126.9
Algeria	2520	89.5	110.5	127.3
Algeria	2530	91.0	112.5	127.7
Algeria	2540	92.5	114.5	128.1
Algeria	2550	94.0	116.5	128.5
Algeria	2560	95.5	118.5	128.9
Algeria	2570	97.0	120.5	129.3
Algeria	2580	98.5	122.5	129.7
Algeria	2590	100.0	124.5	130.1
Algeria	2600	101.5	126.5	130.5
Algeria	2610	103.0	128.5	130.9
Algeria	2620	104.5	130.5	131.3
Algeria	2630	106.0	132.5	131.7
Algeria	2640	107.5	134.5	132.1
Algeria	2650	109.0	136.5	132.5
Algeria	2660	110.5	138.5	132.9
Algeria	2670	112.0	140.5	133.3
Algeria	2680	113.5	142.5	133.7
Algeria	2690			

141 PG
 3445
 3445
 3445
 2 AUGUST 2018

GI101

SEE LISTING FOR THE RATING OF WALL TYPES ON

[illegible][illegible]

$\Delta^2 = 20.5$ (18.0)

doi:10.1017/S0022292412001609



ARCH-NEXUS
ARCHITECTS, INC.
120 East Main Street
Salt Lake City, Utah 84101
Tel: 313.222.2222
Fax: 313.222.2222

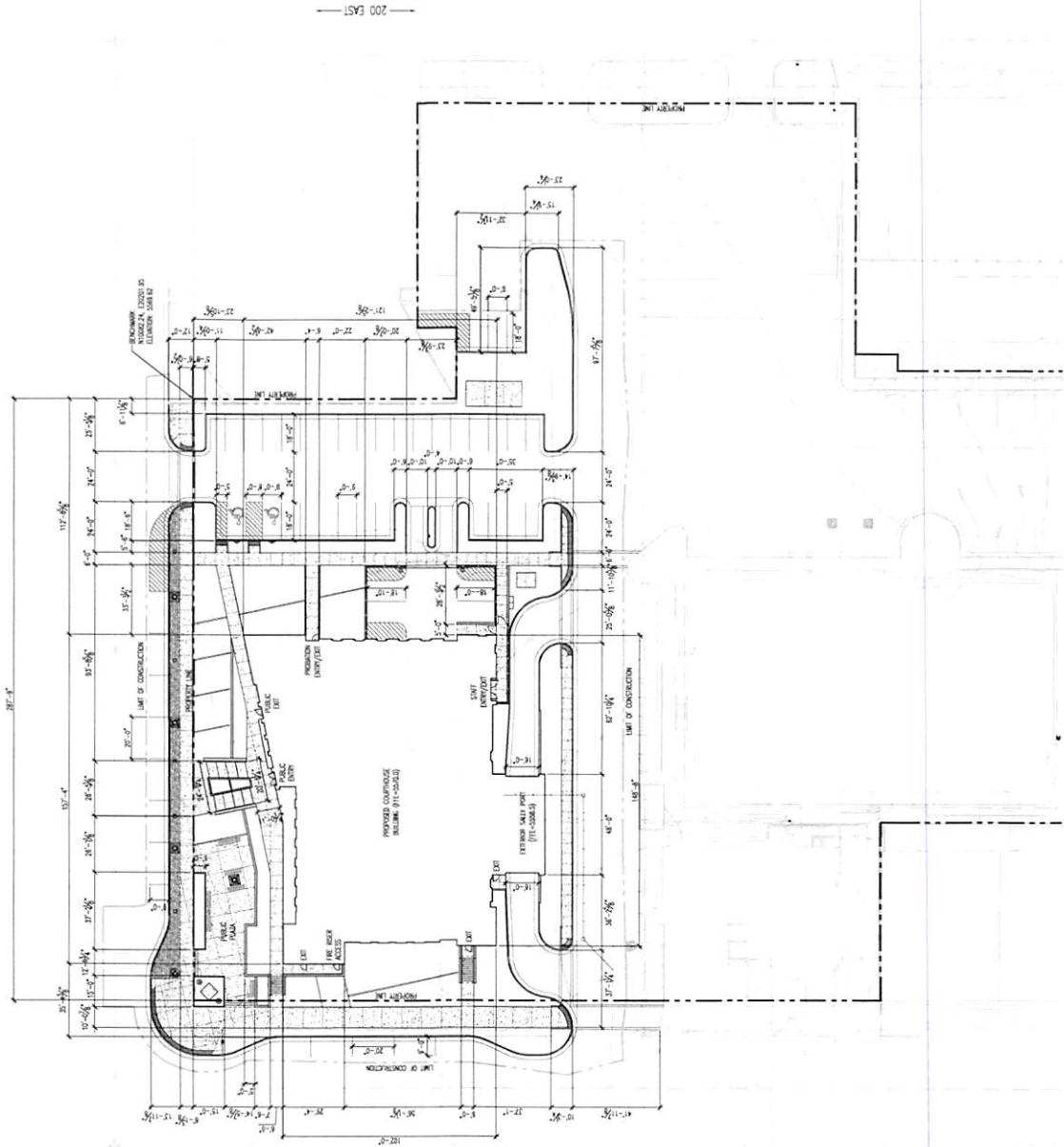
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300

300

State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Price, Utah 84501

DESIGN
DEVELOPMENT
DATE: 10/1/2010
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
DATE: 10/1/2010
SHEET NO. 1
SHEET TOTAL: 1
SITE LAYOUT AND
DIMENSIONING PLAN



[illegible]

BC4 | NF XUS

Architectural Materials, Inc.
100 East Purdy Way
St. Louis City, Mo. 63103
1-801-224-1276
2022/10/06 10:20 AM
2022/10/06 10:20 AM

100

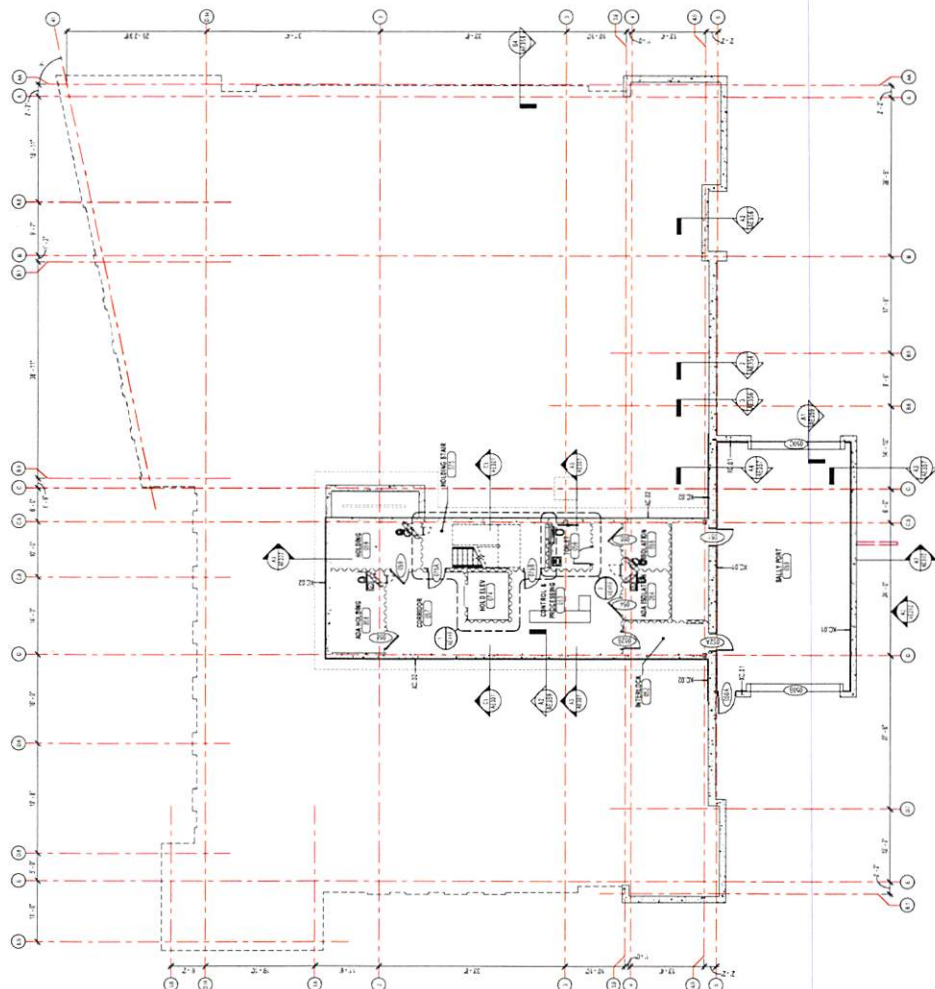
State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Price, Utah 84501

CD
PROGRESS
SET

NEARS PROJECT # 11176
CHECKED BY JMS
DRAWN BY JMS
DATE 2-20-2018

**BASEMENT
FLOOR PLAN**

AE100



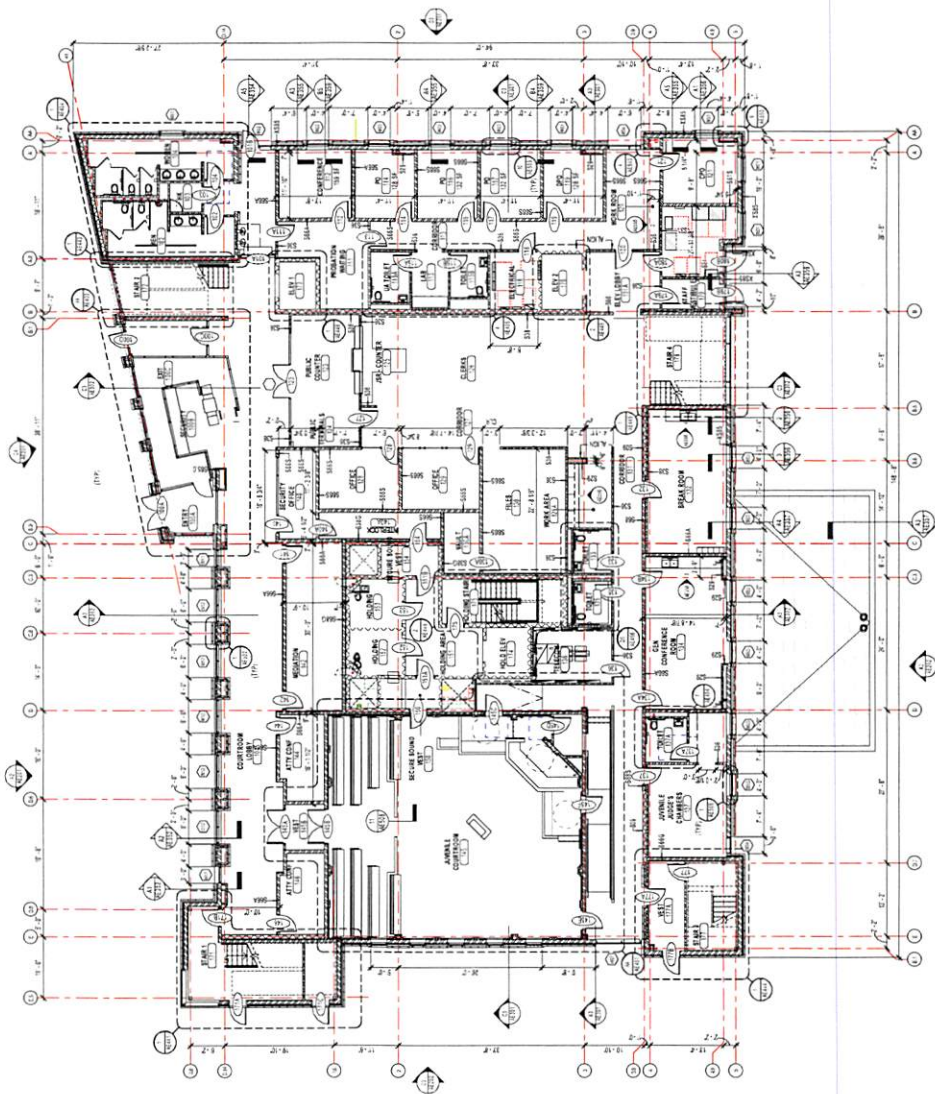
A2 BASEMENT FLOOR PLAN
1/8" = 1'-0"

[illegible]

Case	Chloride	Infected with CMV
1	+	+
2	+	+
3	+	+
4	+	+
5	+	+
6	+	+
7	+	+
8	+	+
9	+	+
10	+	+
11	+	+
12	+	+
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99	+	+
100	+	+

LEVEL 01 FLOOR PLAN

A2 LEVEL 01 FLOOR PLAN



FLOOR TENDS ARE TO GRID LINE ON

A.	PLAN WALL DIMENSIONS ARE TO GRID LINE ON FACE OF WALL STRUCTURE - "CLAY"
B.	DIMENSIONS ARE TO FACE OF WALL STRUCTURE
C.	CONCRETE DIMENSIONS ARE TO FACE OF WALL STRUCTURE
D.	THEIR COMPATIBILITY WITH THE CONSTRUCTION FROM TO THE COMPLETION OF WORK
E.	COORDINATE DIMENSIONS WITH ARCHITECT - DO NOT SCALE DIMENSIONS
F.	SEE CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DIMENSIONS FOR MORE INFORMATION
G.	IDENTIFY FOR WALL TYPES AND TYPICAL ACCESSIBILITY DIMENSIONS AND TYPICAL REQUIREMENTS
H.	PROVIDE DIMENSIONS AND ALL SURFACES IDENTIFY EQUIPMENT AND/OR INTERFERENCE DETAIL, ETC.

NEADS PROJECT # 1311
DESIGNED BY SAKI
DRAWN BY AUSA
DATE: 2 AUGUST 2019

**LEVEL 02 FLOOR
PLAN**

AE102



A2 LEVEL 02 FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES
ROOF PLAN
A. EXISTING ROOF TO BE REMOVED AND REPLACED WITH NEW ROOF.



ARCH NEXUS
ARCHITECTURAL FIRM, INC.
2000 E. 10th Avenue, Suite 100
Salt Lake City, UT 84143
TEL: 313.434.4232
WWW.ARCHNEXUS.COM

DATE: 08/01/2017
PROJECT: CARBON COUNTY COURTHOUSE
DRAWN BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS
APPROVED BY: J. H. HARRIS

State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Price, Utah 84501

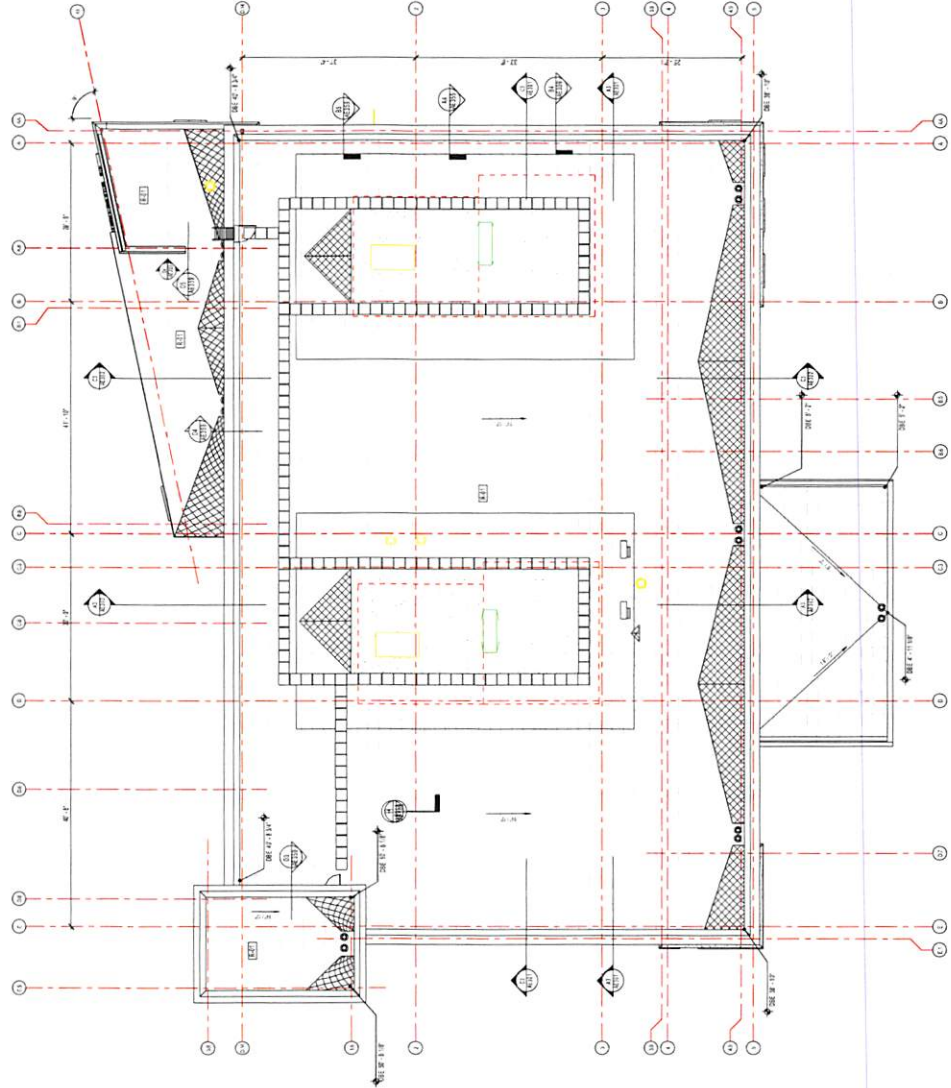
1. Title: Roof Plan

CD
PROGRESS
SET

REVISIONS
NO. DATE BY
1 08/01/2017 JHH
2 08/01/2017 JHH
3 08/01/2017 JHH

ROOF PLAN

AE121



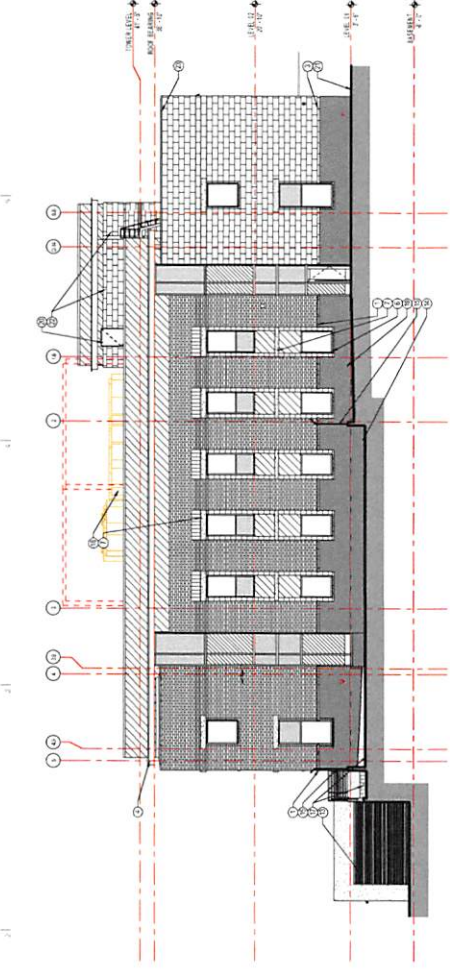
AE ROOF PLAN
12/17



GENERAL NOTES
BUILDING ELEVATION
1. EXISTING BUILDING ELEVATION IS SHOWN.
2. ALL NEW MATERIALS AND FINISHES ARE NOTED.
3. FOR TYPICAL WALL ASSEMBLY, INCLUDING
FOUNDATION, SEE DETAIL 4.01-10.10.10
APPROX. SEE 4.01-10.10.10

KEYNOTE - BUILDING...

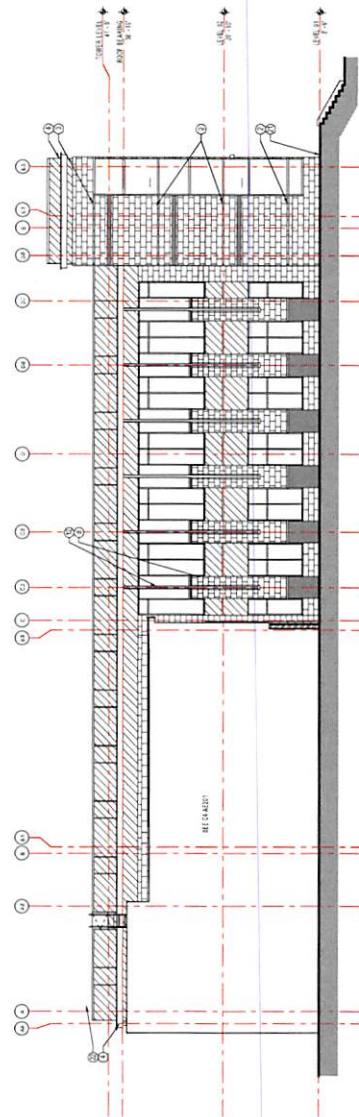
1. PRECAST WATERFALL
2. PRECAST CONCRETE
3. METAL CORNER TRIM
4. PRECAST CONCRETE COLUMN CAP
5. PRECAST CONCRETE COLUMN CAP
6. PRECAST CONCRETE COLUMN CAP
7. PRECAST CONCRETE COLUMN CAP
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30. PRECAST CONCRETE COLUMN CAP
31. PRECAST CONCRETE COLUMN CAP



43. BUILDING ELEVATION (E)
1/8" = 1'-0"



44. BUILDING ELEVATION (ENTRY)
1/8" = 1'-0"



45. BUILDING ELEVATION (W)
1/8" = 1'-0"

EXT. ELEVATION
LEGEND

- PRECAST CONCRETE
- 1/2" X 1/2" BLOCK
- 3/4" X 1/2" X 1/2" BLOCK
- 4" X 12" EXTERIOR BLOCK
- 4" X 8" BLOCK
- METAL PANEL
- 1" INSULATED EXTERIOR TRIMMER

State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Price, Utah 84501

CD
PROGRESS
SET

BUILDING
ELEVATIONS


AE201

Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
MILES NELSON



DATE: SEPTEMBER 2ND, 2016

TO: PRICE CITY PLANNING & ZONING COMMISSION

FROM: NICK TATTON
PRICE CITY 

RE: NEW DISTRICT COURT BUILDING – FINAL APPROVAL

Please find attached an Conditional Use Permit (CUP) application and the final site plan submitted by Carbon County to locate an office building with government services land use, at 120 East Main Street within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria is listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code, the land use is Executive, Legislative and Judicial Functions, Code Section 11.3.10.2.2, a conditional use.

It is the recommendation of staff to review the site plan with the applicant in detail including the site plan elements from the checklist. It is advisable to also question the application regarding the (re)installation of public infrastructure around the development as well as the building plan review and inspection requirements.

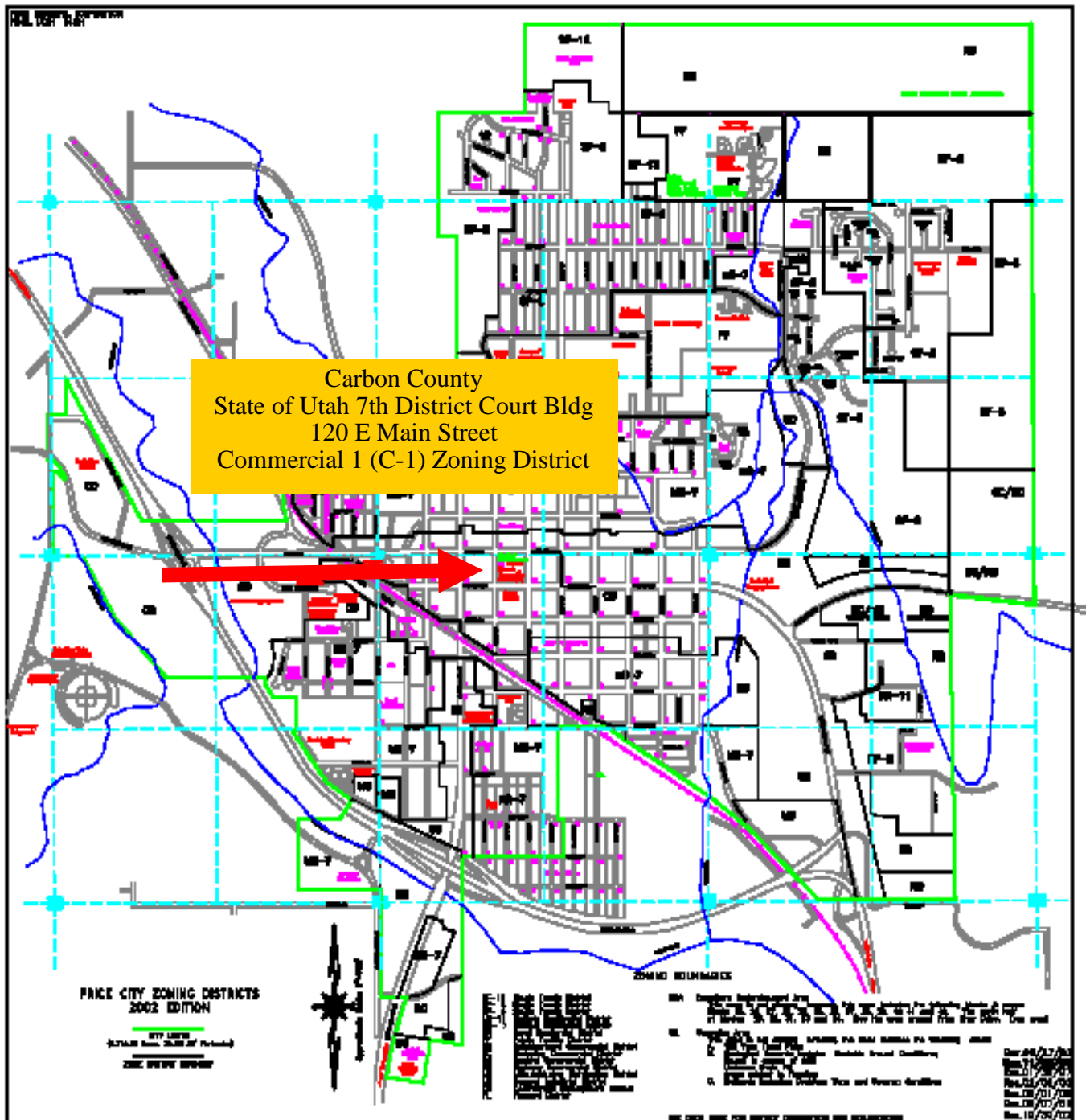
RECOMMENDED MOTION(S):

1. Move to recommend final approval for Carbon County to locate an office building for Executive, Legislative and Judicial Functions at 120 East Main Street within the Commercial 1 (C-1) zoning district based upon the general land use evaluation criteria listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code the conditional land uses of Executive, Legislative and Judicial Functions, Code Section 11.3.10.2.2, and subject to the following conditions of approval:
 - a. Site Plan
 - i. Installation of exterior area and parking lot lighting per the lighting plan. All exterior lighting to be high efficiency LED fixtures only.
 - ii. Fencing to be installed as indicated:
 1. (Re)Install as needed a six foot (6') sight obscuring fencing surrounding bank to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: Main Street and 200 East.

2. (Re)Install as needed a six foot (6') sight obscuring fencing surrounding residential structures and properties to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: 200 East and 100 South.
- iii. Main Street east ingress/egress to be a minimum of thirty-feet (30') in width finding that wider ingress/egress at the location may mitigate vehicle and pedestrian conflicts.
- iv. 100 East ingress/egress to be a minimum of thirty-feet (30') in width and signage posted to direct secure and non-secure access to the sally-port.
- v. Installation of a minimum of five percent (5%) landscaping compliant with the Code finding that landscaped developments improve the community aesthetic.
 1. Minimum of eighty-five percent (85%) landscaping to be drought tolerant and water-wise.
 2. Backflow prevention installed and inspected by Price City Water Department prior to use or operation of irrigation system.
 3. Plantings, lighting and concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north (town square improvements).
- vi. Off-street parking to be a minimum of one-hundred twenty-eight (128) spaces for the overall site finding that adequate off-street parking mitigates congestion on roadways surrounding the development.
 1. $38,344 \text{ net usable square feet} / 300 = 127.81 \rightarrow 128 \text{ spaces}$.
 2. Shared parking with adjoining uses permitted.
 3. On-street parking to be striped angle parking consistent with size and angles in Chapter 6 of the Code.
- vii. Garbage dumpster to be located within an enclosure with sight obscuring gate inserts to prevent unauthorized access including a service frequency to mitigate wind scatter of garbage, rubbish or debris and nuisance accumulations or odors.
 1. No hazardous or other restricted materials or items to be disposed of in garbage dumpster.
- viii. Fire Department Red Zones and access to be coordinated with the Price City Fire Chief finding that compliant and functional fire access and infrastructure protect the health, safety and welfare of the public.
 1. Includes access points, fire department connections, fire risers, on-site hydrant placement, hydrant minimum flow, supply line sizing.
- ix. Building signage and way-finding signage to only be installed upon completion of submission of final signage plan, review and authorization by the Price City Planning Department.
 1. Signage to include numeric address and street locator.
 2. Monument sign, per Section 4.13.1.1.a of the Code, not to exceed forty-five square feet in size as indicated.
- b. Water, sewer and electric utility connections to be coordinated and installed under the direction of the Price City water/sewer department and Price City electric department finding that properly coordinated utility connections provide long-term service to development.
 - a. Electrical load sheet to be submitted to the Price City electric department in advance of connection request.

- b. Provide to Price City all necessary utility easements for access to all installed public utilities, including fire department access, if applicable.
- c. Existing Structures:
 - a. Existing 7th District Court Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses and occupancies may require additional review and permitting.
 - b. Existing Carbon County P&Z Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses and occupancies may require additional review and permitting.
 - i. No parking or storage of commercial, industrial, construction vehicles and equipment.
- d. Plans, Licenses, Permits and Documents:
 - i. Completion of a geotechnical study by a qualified geotechnical engineer and submission of the study to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the study.
 - ii. Completion of a storm water management plan and submission of the plan to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the plan.
 - 1. Plan to address a 100 year storm event and mitigate any storm water runoff impact on neighboring and surrounding property.
 - 2. All storm water runoff must not flow to neighboring properties and must be fully mitigated.
 - iii. Completion of a Public Infrastructure Development Agreement and submission of the required financial surety, if required, to the Price City Public Works Department.
 - 1. All public infrastructure to be (re)installed/replaced surrounding the development site meeting Price City Minimum Standards and coordinated with the Price City Engineer. Plantings, lighting and concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north (town square improvements), as indicated above in landscaping requirements section.
 - 2. "Decorative Bump-Outs" at curb line into roadway restricted.
 - iv. Completion of a Private Utility Agreement, if required, to the Price City Public Works Department.
 - v. Complete a Price River Water Improvement District (PRWID) Waste Water Survey and submit to PRWID, copy to Price City, and compliance with all directed waste water system protection recommendations stemming from the survey including grease traps and sampling manholes provided by PRWID or Price City.
 - vi. Submission of construction plans to Price City and procurement of a Price City building permit prior to commencement of construction finding that properly licensed, permitted and inspected commercial development protects the health, safety and welfare of the community.
 - 1. Construction plans to be reviewed for compliance with the IBC 2015 and all construction consistent with that review and any plan amendments stemming from the review.

2. Inspection of the building construction locally by Price City or by Carbon County only upon final execution of a building inspection agreement between Price City and Carbon County.
- b. All development consistent with all information, agreements, documents submitted to Price City finding that development consistent with supplied information mitigates misunderstandings and promotes efficient development activity in the community.
- c. No condition at the property or structure that violation the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.
- e. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.





ARCH | NEXUS

Architectural NEXUS, Inc.
2505 East Parleys Way
Salt Lake City, Utah 84109
T 801.324.5000
http://www.archnexus.com

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State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Price, Utah 84501

Date Revision

50% CD
REVIEW

NEXUS PROJECT #: 15176
CHECKED BY: JJ
DRAWN BY: NLB
DATE: 31 AUGUST 2016

GENERAL
NOTES

C-001

GENERAL NOTES

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS."

ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION OF WORK.

CONTRACTOR SHALL COMPLY WITH SAFETY REQUIREMENTS CONTAINED IN THE GENERAL CONDITIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAND OF PUBLIC AND PRIVATE OWNERSHIP TO BE RESTORED TO ITS ORIGINAL STATE.

CONTRACTOR SHALL RETAIN AND PROTECT WHERE POSSIBLE ALL LANDSCAPING, TREES, EXISTING UTILITIES, DITCHES, CULVERTS, PAVEMENT, FENCING, etc. EXCEPT WHERE REMOVAL OF SUCH ITEMS IS SPECIFICALLY CALLED FOR ON DRAWINGS. ANY DAMAGE CAUSED BY CONTRACTOR SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.

ALL ABANDONED UTILITIES DAMAGED OR EXPOSED DURING CONSTRUCTION SHALL BE REMOVED CAPPED AND PLUGGED. ENGINEER SHALL DETERMINE WHICH UTILITIES ARE ABANDONED.

THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCE'S WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH. BLUE STAKES (800) 662-4111.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CAMPUS UTILITY DIRECTOR AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.

ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.

CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE ENGINEER SHALL BE REMOVED AND REPLACED. TAKE PHOTOS OF JOB SITE PRIOR TO PROJECT BEGINNING.

CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.

ALL GRADING WORK SHALL CONFORM TO THE LIMITED SITE INVESTIGATION AS PREPARED BY RMEC ENVIRONMENTAL, INC. DATED MARCH 9, 2016 AS SHOWN ON THESE PLANS.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS.

CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MAN-HOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.

PROPER SIGNS, BARRIERS, BARRICADES AND LIGHTS SHALL BE PLACED AND MAINTAINED.

THIS PLAN DOES NOT AUTHORIZE CLOSURE OF ANY ROAD OR STREET.

CONTRACTOR SHALL PROTECT CONSTRUCT STAGING AREA WITH FENCING.

CONTRACTOR SHALL MAINTAIN DUST FREE WORK AND STORAGE AREAS.

GRADING NOTES

IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.

CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.

MATERIAL LEFTOVER FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF IN A LEGAL OFF-SITE LOCATION APPROVED BY THE ENGINEER.

THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. CONTRACTOR SHALL REMOVE ALL MUD TRACKED FROM THE PROJECT SITE ONTO PUBLIC DRIVES AND ROADWAYS.

DEVIATIONS FROM STANDARDS

THERE ARE NO DEVIATIONS, UNLESS STATED IN THE SPECIFICATIONS.

HOT MIX ASPHALT (HMA)

AGGREGATE: 1/2" MAX

GRADATION	IDEAL GRADATION OF PASSING BAND	% PASSING GRADATION BAND
1/2"	100	100
#4	70	60-80
#16	35	28-42
#50	17	11-23
#200	7	5-9

ASPHALT GRADE PG58-22, VISCOSITY GRADED
ENGINEER MUST APPROVE THE JOB MIX FORMULA
COMPACTION=95% AASHTO T-99
ASPHALT PLACED @ TEMPERATURE ABOVE 250°F

HMA MINERAL AGGREGATES SHOULD CONFORM TO SECTION 02741 OF STANDARD SPECIFICATION OF UTAH DEPARTMENT OF TRANSPORTATION.
MIXING, PLACING, AND DENSIFICATION OF ASPHALT MATERIAL SHOULD CONFORM TO UTAH DEPARTMENT OF TRANSPORTATION STANDARDS.

UNTREATED BASE COURSE (1-INCH MAX)

1-INCH GRADATION

SIEVE SIZE	% PASSING-GRADATION BAND
1"	100
1/2"	79-91
#4	49-61
#16	27-35
#200	7-11

MUST CONFORM TO UTAH DEPARTMENT OF TRANSPORTATION SPECIFICATION, COMPACTED TO 95% OF MAXIMUM DENSITY, AASHTO T-180 MOISTURE CONTENT WITHIN 2% OF OPTIMUM

3' GRANULAR BORROW

GRANULAR BORROW SOURCE MUST BE APPROVED BY THE ENGINEER FOR QUALITY AND CONSISTENCY AND MUST BE NON-PLASTIC AND MEET THE FOLLOWING GRADATION:

NON-PLASTIC 3-INCH	% PASSING
3-INCH	71-100
2-INCH	26-70
#4	16-25
#200	0-15

COMPACTED TO 95% OF MAXIMUM DENSITY, AASHTO T-180 MOISTURE CONTENT WITHIN 2% OF OPTIMUM.

BORROW WILL BE COMPACTED BY A SHEEPS FOOT COMPACTOR CAPABLE OF APPLYING A CENTRIFUGAL FORCE OF 60,000 LBS.

CONCRETE

CEMENT SHALL BE ASTM C150, TYPE V
COMPRESSIVE STRENGTH = 4000 PSI
CLASS 2 COURSE AGGREGATE SIZE 57 (1" TO #4, ASTM C-33 TABLE II)
AIR CONTENT BY VOLUME= 5.5 TO 7 PERCENT
REINFORCING STEEL SHALL CONFORM TO ASTM GA-615, GRADE 60-S

PIPE

WATER: PVC CLASS 200 PIPE REQ'D.

SEWER: PVC (D-3034) 4" DIA. CLEANOUTS REQ'D.
RESTORATION OF ORIGINAL LANDSCAPING REQ'D.
THIS ITEM SHALL INCLUDE ALL NECESSARY FITTINGS TO DO THE WORK. ELBOWS SHALL BE SWEEPING 45'.
LAID ON GRADE WITH LASER CONTROL

DRAIN: ADS N-12

USE THRUST BLOCKS AS REQ'D.

EXCAVATION

BUILDING, PARKING, AND DRIVING AREAS MUST BE EXCAVATED DOWN TO SUBGRADE, APPROXIMATELY ±21 INCHES DEEP. REPLACE WITH STRUCTURAL FILL AS SHOWN ON THE TYPICAL DETAILS AT 2% OPTIMUM MOISTURE TO 95% COMPACTION. DO NOT EXCEED 6" LIFTS.

RESTORATION

THE CONTRACTOR MUST RESTORE ANY DISTURBED AREAS TO THEIR ORIGINAL CONDITION WHILE LAYING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO THE RESTORATION OF ROADS, TREES, FENCES, SPRINKLER SYSTEMS, ROCK LANDSCAPING, ETC.

THESE IMPROVEMENTS WILL BE RESTORED AS SOON AS POSSIBLE AFTER THE PIPE INSTALLATION.

PAINT STRIPING

APPLICATION RATE: 190 TO 240ft. PER GALLON
20-25 WET MILS FOR ALL LONGITUDINAL MARKINGS.
23-40 WET MILS FOR ALL PAINTED LEGENDS AS DETERMINED BY A WET MIL GAUGE
GLASS SPHERE (BEADS): APPLY A MIN. OF 8 LBS. PER GALLON OF PAINT.
TEMPERATURE FOR APPLICATION: 50 DEGREES AND RISING
FOR COLOR AND WIDTH SEE DETAIL SHEET C1.6.

ABBREVIATIONS

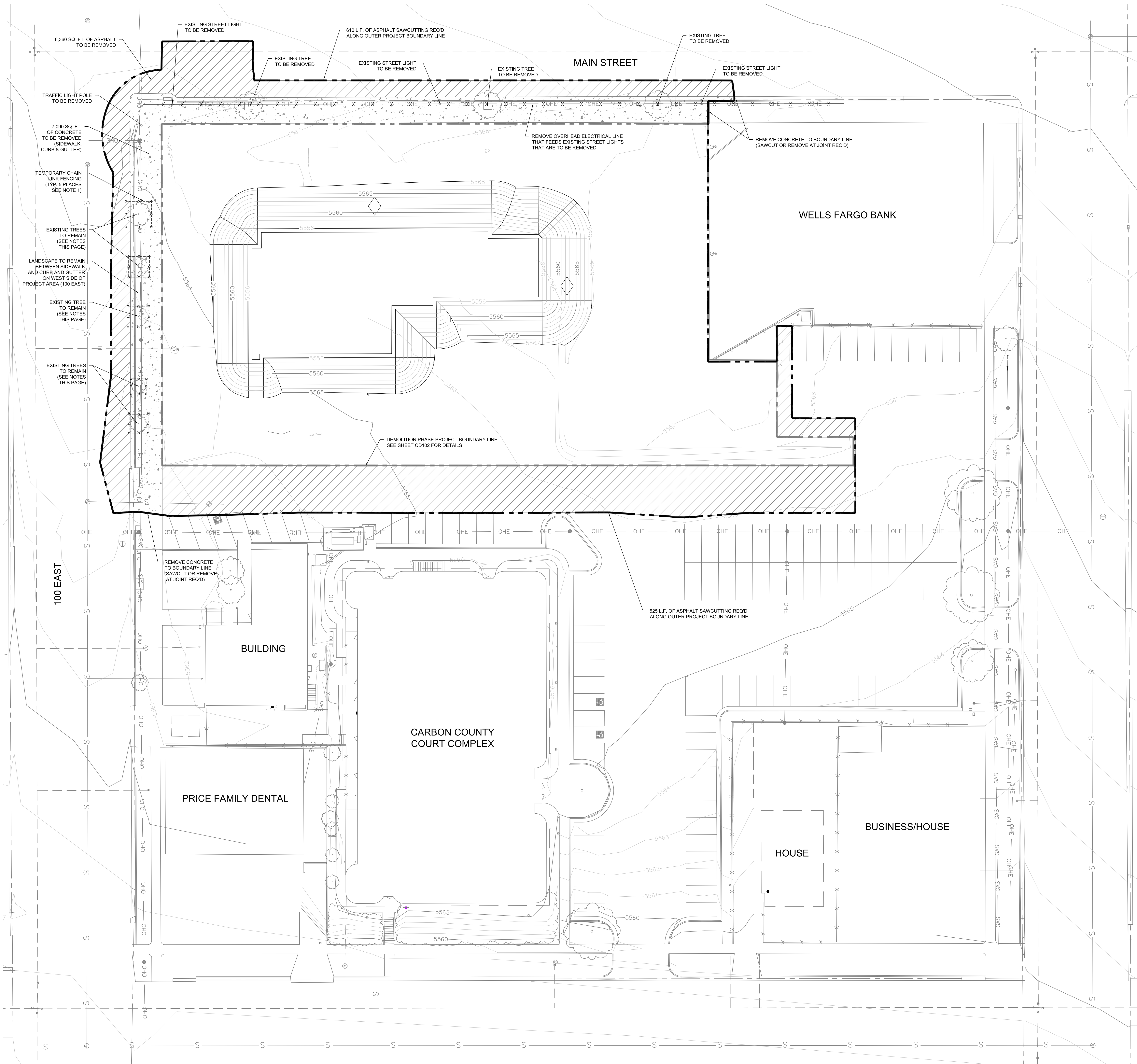
BOW	BOTTOM OF WALL
CONC.	CONCRETE
ELEV.	ELEVATION
FF	FINISH FLOOR
IE	INVERT ELEVATION
L.F.	LINEAR FEET
MIN.	MINIMUM
O.C.	ON CENTER
PNT	POINT
RAD	RADIUS
REQ'D.	REQUIRED
STA	STATION
TBC	TOP BACK OF CURB
TOW	TOP OF WALL
TYP.	TYPICAL
UTBC	UNTREATED BASE COURSE
W/	WITH

INDEX

C-001	GENERAL NOTES
CD103	DEMOLITION PLAN
CS101	HORIZONTAL CONTROL
CG101	EXISTING CONDITIONS
CG102	GRADING PLAN
CU101	UTILITY PLAN
CG502	DETAILS
CG503	DETAILS



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LEGEND

GAS LINE	— GAS —
SEWER LINE	— S —
COMMUNICATION LINE	— — —
STORM DRAIN LINE	— — —
WATER LINE	— — —
BURIED POWER LINE	— E — E —
OVERHEAD POWER LINE	— OHE —
OVERHEAD COMMUNICATIONS	— OHC —
REMOVE UTILITY LINE	— X — X —
PROJECT BOUNDARY	— — —
EXISTING MAJOR CONTOUR	— 5635 —
EXISTING MINOR CONTOUR	— 5636 —

ASPHALT = 6,360 SQ. FT.
CONCRETE = 7,090 SQ. FT.

- TREE PRESERVATION GUIDELINES:**
- PROTECT TRUNK AND BRANCHES**
- ALL CITY TREES SHALL HAVE TEMPORARY CHAIN LINK FENCING ERECTED AT THE DRIP LINE. FENCING SHALL HAVE STAND POSTS, NOT POSTS DRIVEN INTO THE ROOTS. NO STORAGE SHALL TAKE PLACE WITHIN FENCING. ALL FENCING SHALL BE ERECTED IN ACCORDANCE WITH TREE PRESERVATION INDUSTRY STANDARDS (ISA). NO SUPPLIES OR EQUIPMENT SHALL BE STORED IN THE DRIP LINE.
 - NO CONSTRUCTION SHALL TAKE PLACE IN THE DRIP LINE. NO TRENCHING IN THE DRIP LINE. ONLY BORING OR TUNNELING WITHIN THE DRIP LINE AT A MINIMUM DEPTH OF TWENTY EIGHT INCHES (28").
 - TO THE GREATEST EXTENT POSSIBLE, PROTECT TRUNKS, CANOPIES, AND ROOTS OF EXISTING TREES TO REMAIN FROM DAMAGE DURING DEMOLITION OF EXISTING CONCRETE SIDEWALK AND CURB AND GUTTER, AND DURING CONSTRUCTION OF NEW CONCRETE SIDEWALK AND CURB AND GUTTER.
- PROTECT ROOTS**
- NO WORK SHALL BE PERFORMED WITHIN THE DRIP LINE OF THE TREE.
 - THERE SHALL BE NO STRIPPING OF SOIL WITHIN THE DRIP LINE OF THE TREE. SOIL SHALL REMAIN UNDISTURBED.
 - THERE SHALL BE NO GRADE CHANGE WITHIN THE DRIP LINE OF THE TREE. SOIL SHALL REMAIN UNDISTURBED.
 - NO ROOTS LARGER THAN FOUR INCHES (4") IN DIAMETER SHALL BE CUT. IN SITUATIONS WHERE A ROOT HAS BEEN DAMAGED, A CLEAN CUT SHALL BE MADE ON THE ROOT AT THE EDGE OF THE TRENCH CLOSEST TO THE TREE TRUNK.
 - CUTS ON TREE ROOTS SHALL BE SMOOTH AND CLEAN.
 - EXPOSED ROOTS SHALL BE COVERED AS QUICKLY AS POSSIBLE TO PREVENT THE EXPOSED ROOTS FROM DRYING OUT AND THE TREE TRUNK SHALL BE WATERED IMMEDIATELY. IF TREE ROOTS ARE TO REMAIN EXPOSED FOR MORE THAN FOUR TO SIX (4-6) HOURS, THEY MUST BE COVERED WITH BURLAP AND KEPT MOIST AT ALL TIMES.
 - IF WORK HAS BEEN APPROVED WITHIN THE DRIP LINE OF THE TREE, ALL WORK SHALL BE DONE BY HAND.
- MAINTAIN CONSISTENT SOIL MOISTURE**
- ESTABLISHED TREES NEED DEEP WATERING ONCE EVERY TWO WEEKS WITH LOW PRESSURE AT THE DRIP LINE TO ENSURE THAT THE GROUND IS WET TO A DEPTH OF AT LEAST EIGHT INCHES (8"). GENERALLY FIVE GALLONS (5 GAL.) OF WATER PER INCH OF TRUNK DIAMETER AT BREAST HEIGHT (DBH).

SCALE: 1"=20'

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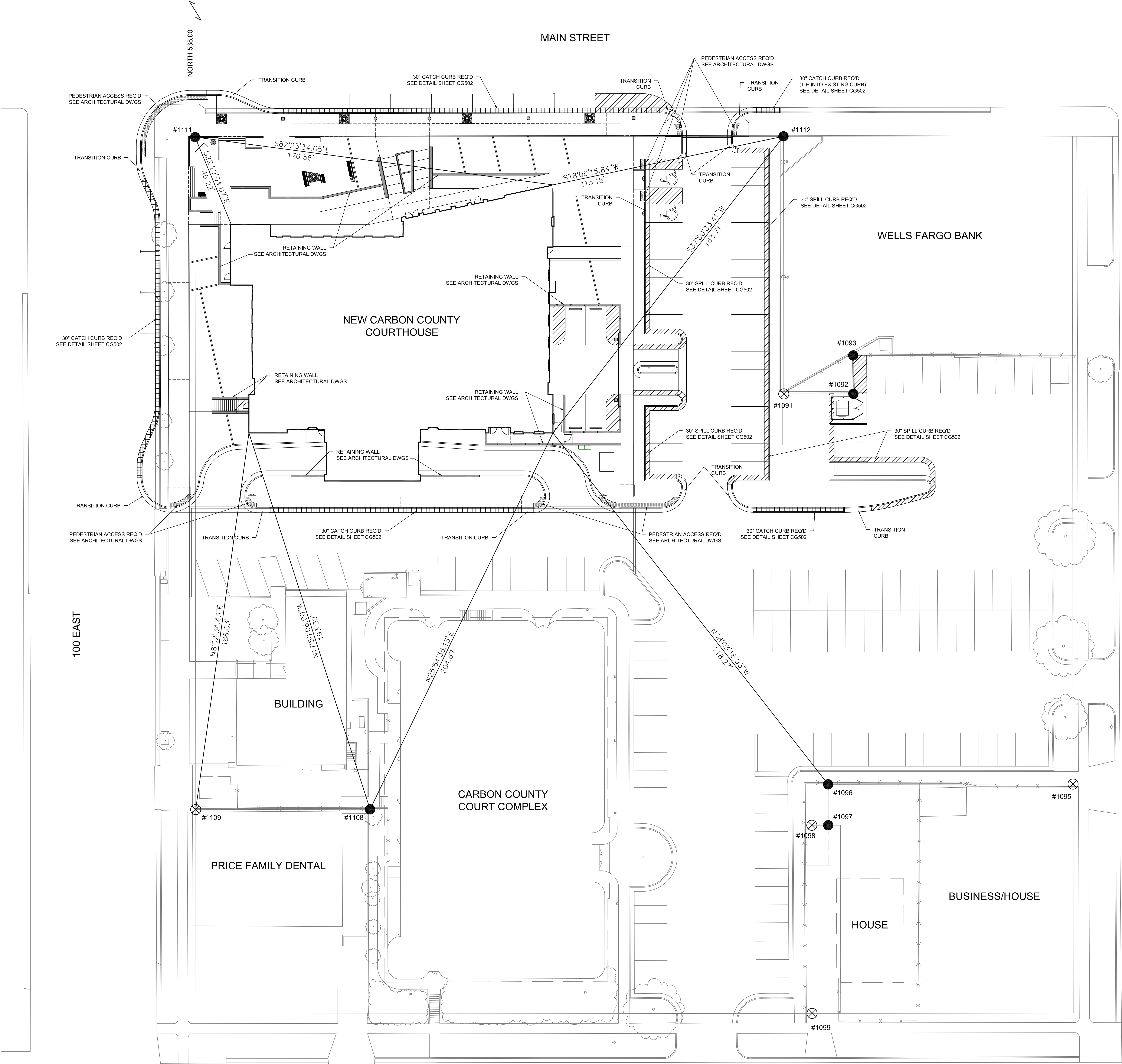
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DEMOLITION PLAN



SURVEY CONTROL				
PNT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1001	10620.38	20606.47	5581.23	N 1/4 COR SEC 21 T14S R10E ("X" ETCHED IN CONCRETE)
1002	10618.34	17951.54	5566.82	NW CORNER SEC 21 T14S R10E ("X" ETCHED IN CONCRETE)
1091	9956.24	20202.08	5569.28	MAG NAIL IN CONCRETE
1092	9956.31	20236.11	5569.05	PROP CORNER REBAR/CAP CC-1
1093	9975.05	20236.07	5569.65	PROP CORNER REBAR/CAP CC-2
1095	9765.40	20343.54	5563.10	MAG NAIL IN CONCRETE
1096	9765.27	20223.78	5562.80	PROP CORNER REBAR/CAP CC-3
1097	9745.26	20223.81	5562.40	PROP CORNER REBAR/CAP CC-4
1098	9745.26	20215.80	5562.46	PROP CORNER REBAR/CAP CC-5
1099	9653.27	20215.90	5559.81	MAG NAIL AND WASHER CC-6
1108	9753.05	19999.80	5563.91	PROP CORNER REBAR/CAP CC-7
1109	9752.94	19914.54	5561.09	MAG NAIL IN CONCRETE
1111	10081.85	19914.22	5565.91	PROP CORNER REBAR/CAP CC-8, (0.10' SOUTH OF CORNER)
1112	10082.22	20201.94	5569.62	PROP CORNER REBAR/CAP CC-9

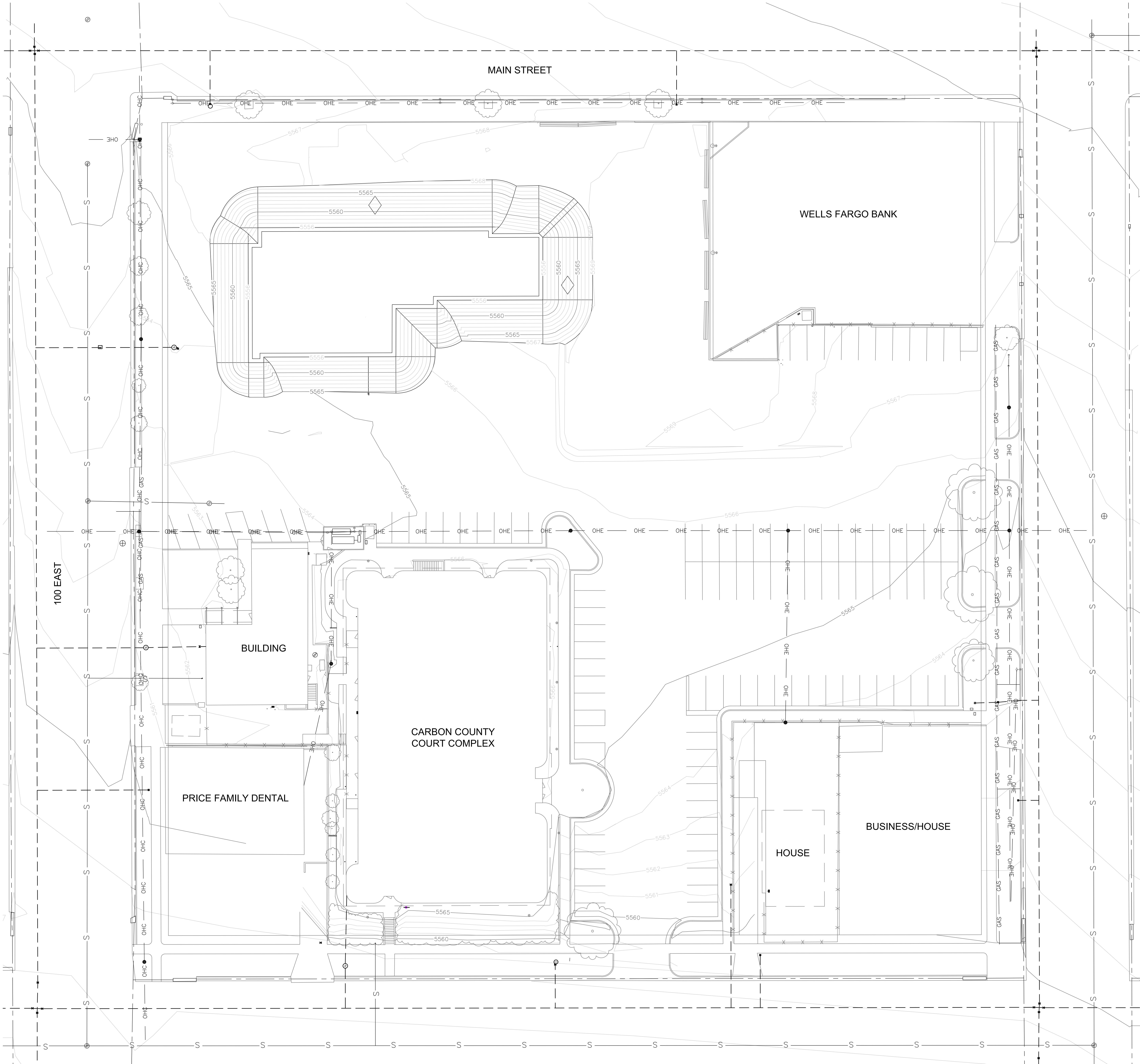
- SECTION CORNER
- REBAR/CAP
- MAG NAIL

SCALE: 1"=20'

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LEGEND

GAS LINE	— GAS —
SEWER LINE	— S —
COMMUNICATION LINE	— — — — —
STORM DRAIN LINE	— — — — —
WATER LINE	— — — — —
POWER LINE	— OHE —
EXISTING MAJOR CONTOUR	— 5635 —
EXISTING MINOR CONTOUR	— 5636 —



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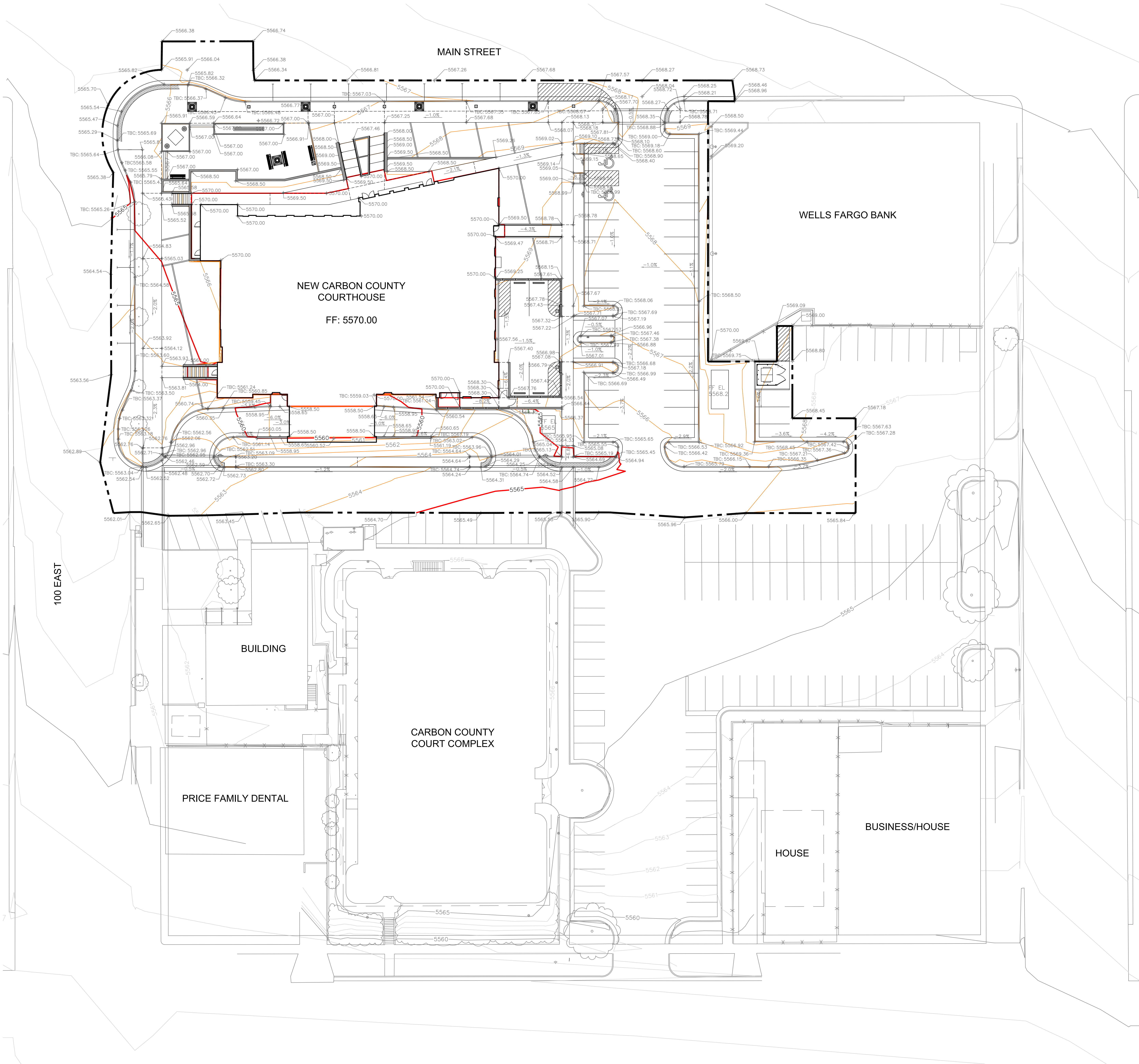
EXISTING CONDITIONS

CG101

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LEGEND

PROJECT BOUNDARY ---
EXISTING MAJOR CONTOUR ---
EXISTING MINOR CONTOUR ---
FINISH GRADE MAJOR CONTOUR ---
FINISH GRADE MINOR CONTOUR ---

“TBC = TOP BACK CURB”

SCALE: 1"=20'



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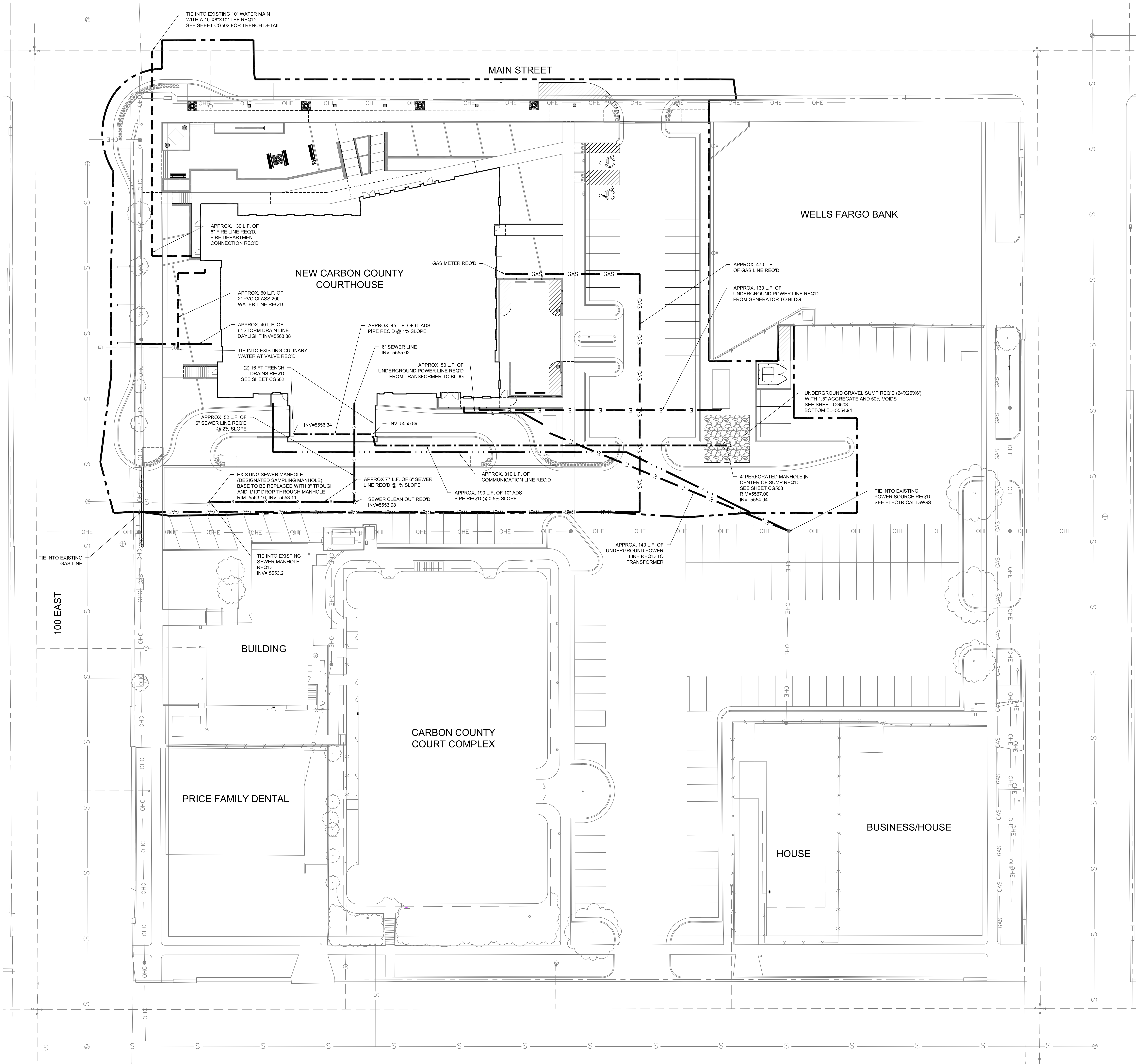
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GRADING PLAN

CG102



LEGEND	
EXISTING GAS LINE	— GAS —
GAS LINE	— GAS —
EXISTING SEWER LINE	— S —
SEWER LINE	— S —
EXISTING COMMUNICATION LINE	— —
COMMUNICATION LINE	— —
EXISTING STORM DRAIN LINE	— —
STORM DRAIN LINE	— —
EXISTING WATER LINE	— —
WATER LINE	— —
EXISTING OVERHEAD POWER	— OHE —
UNDERGROUND POWER LINE	— E —
PROJECT BOUNDARY	— —

INSTALL ALL UTILITIES TO 5' FROM BUILDING



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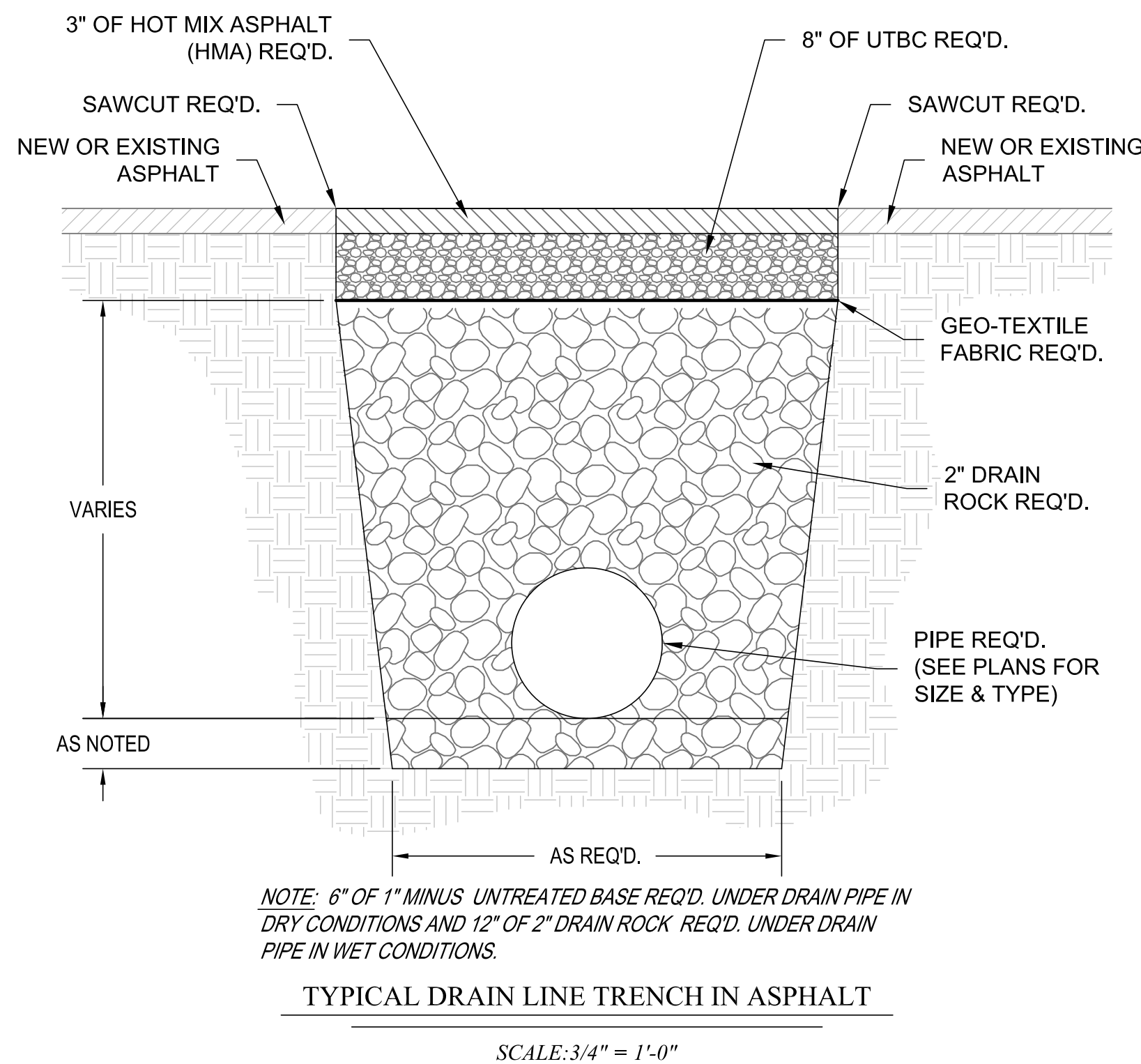
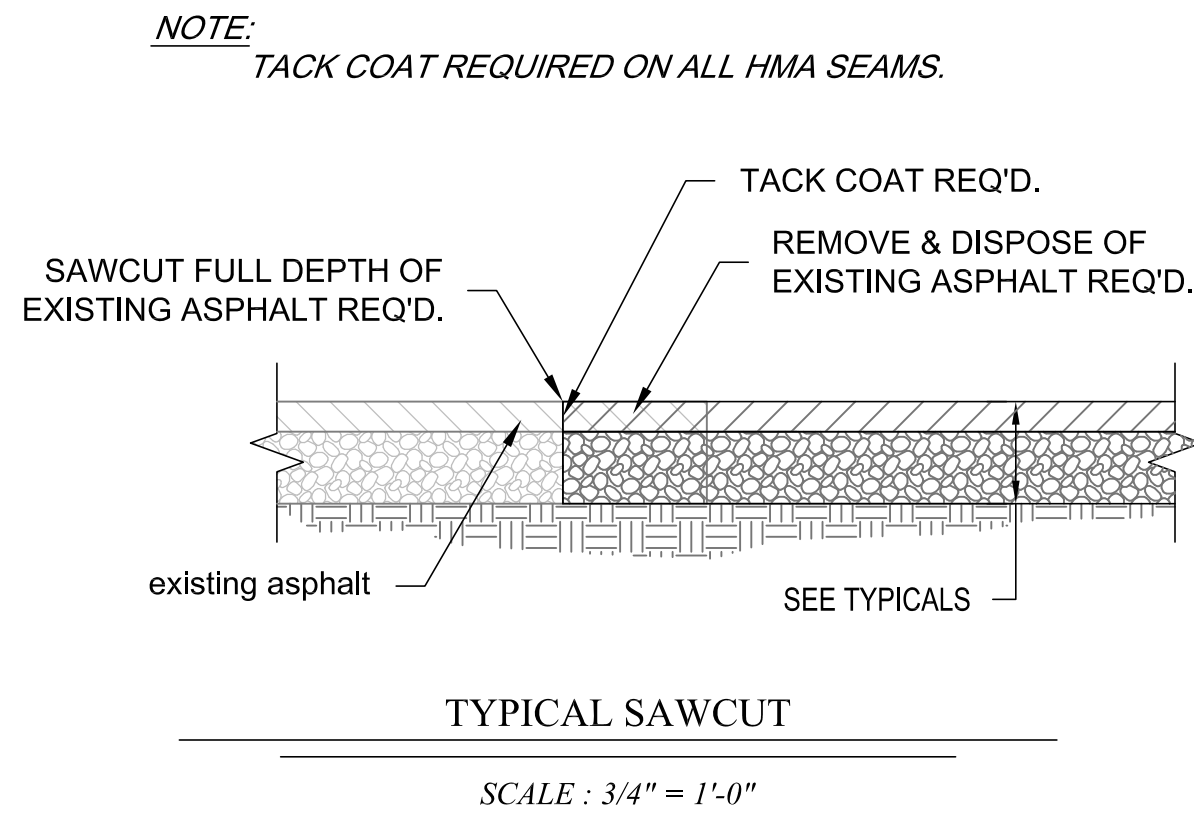
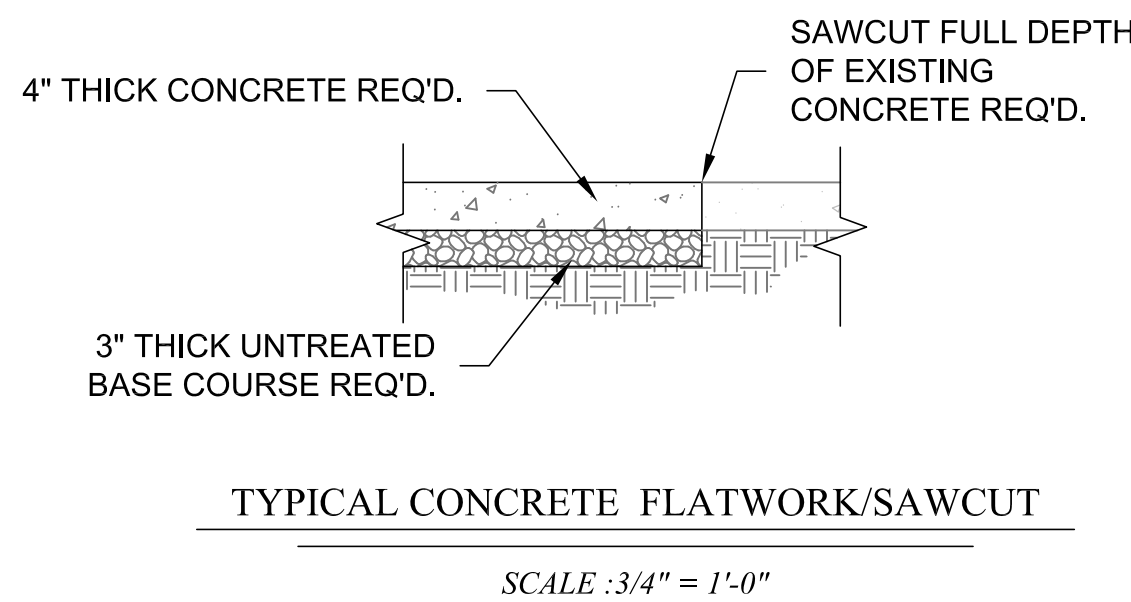
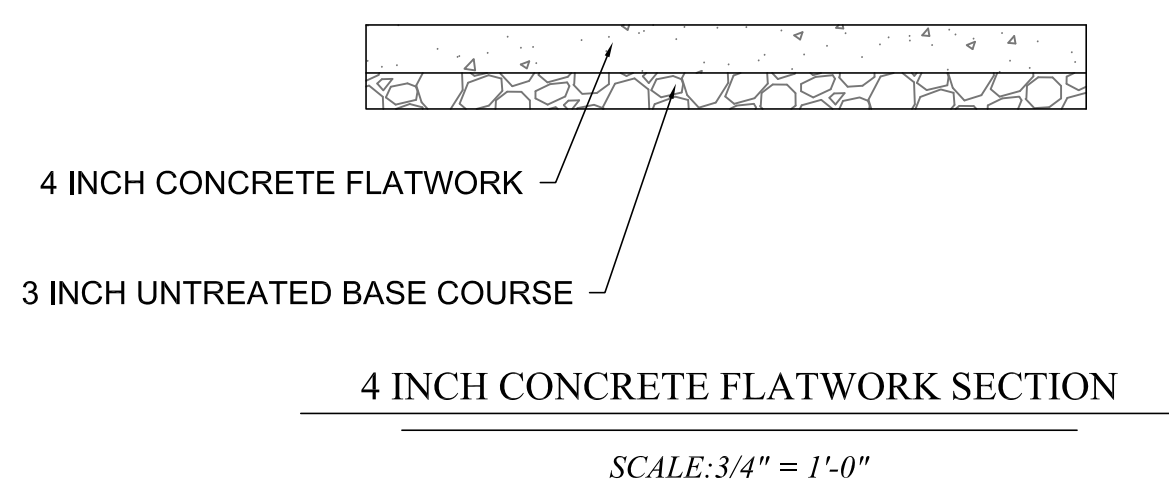
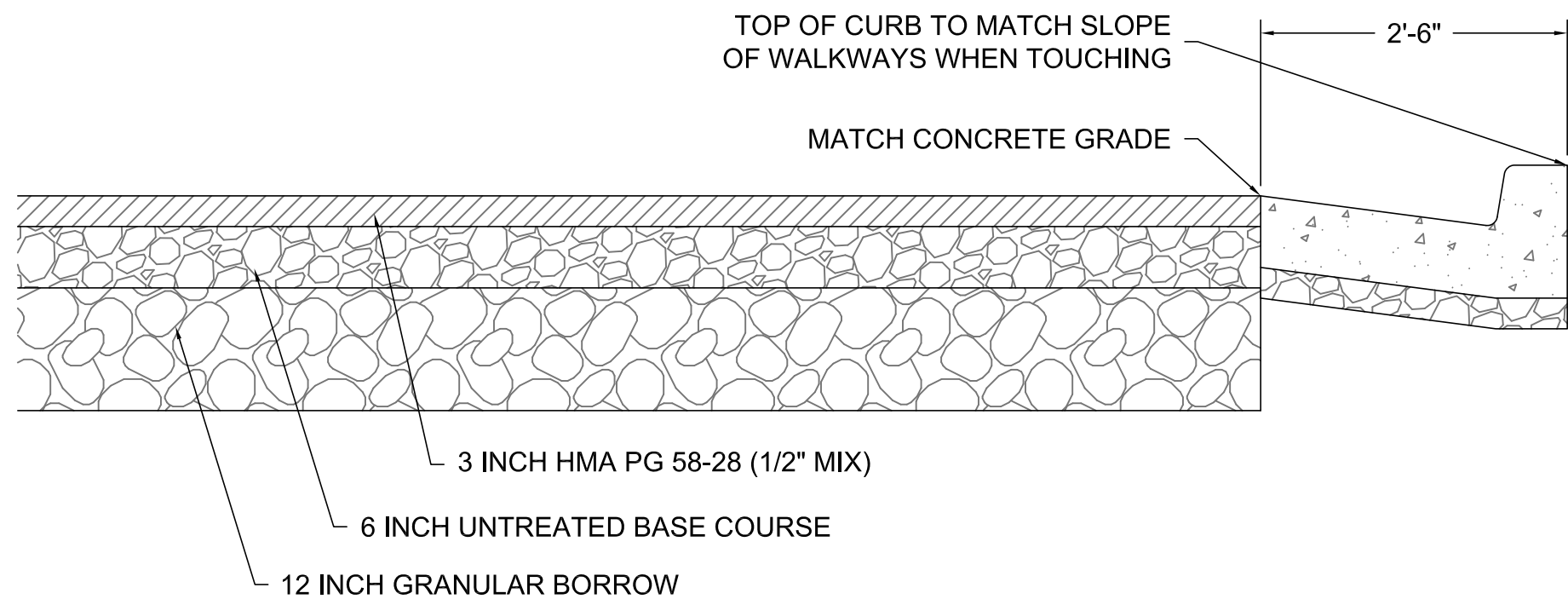
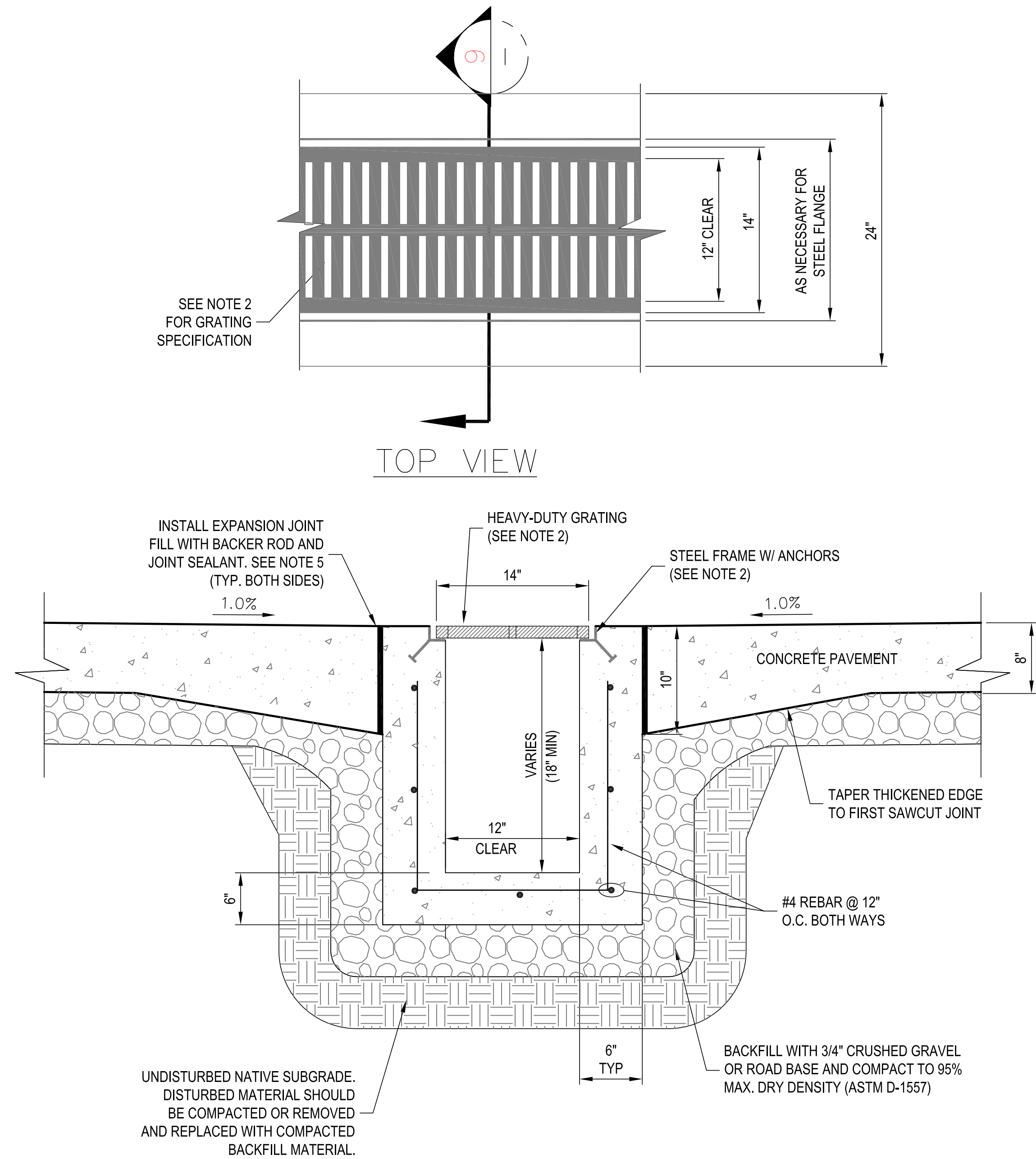
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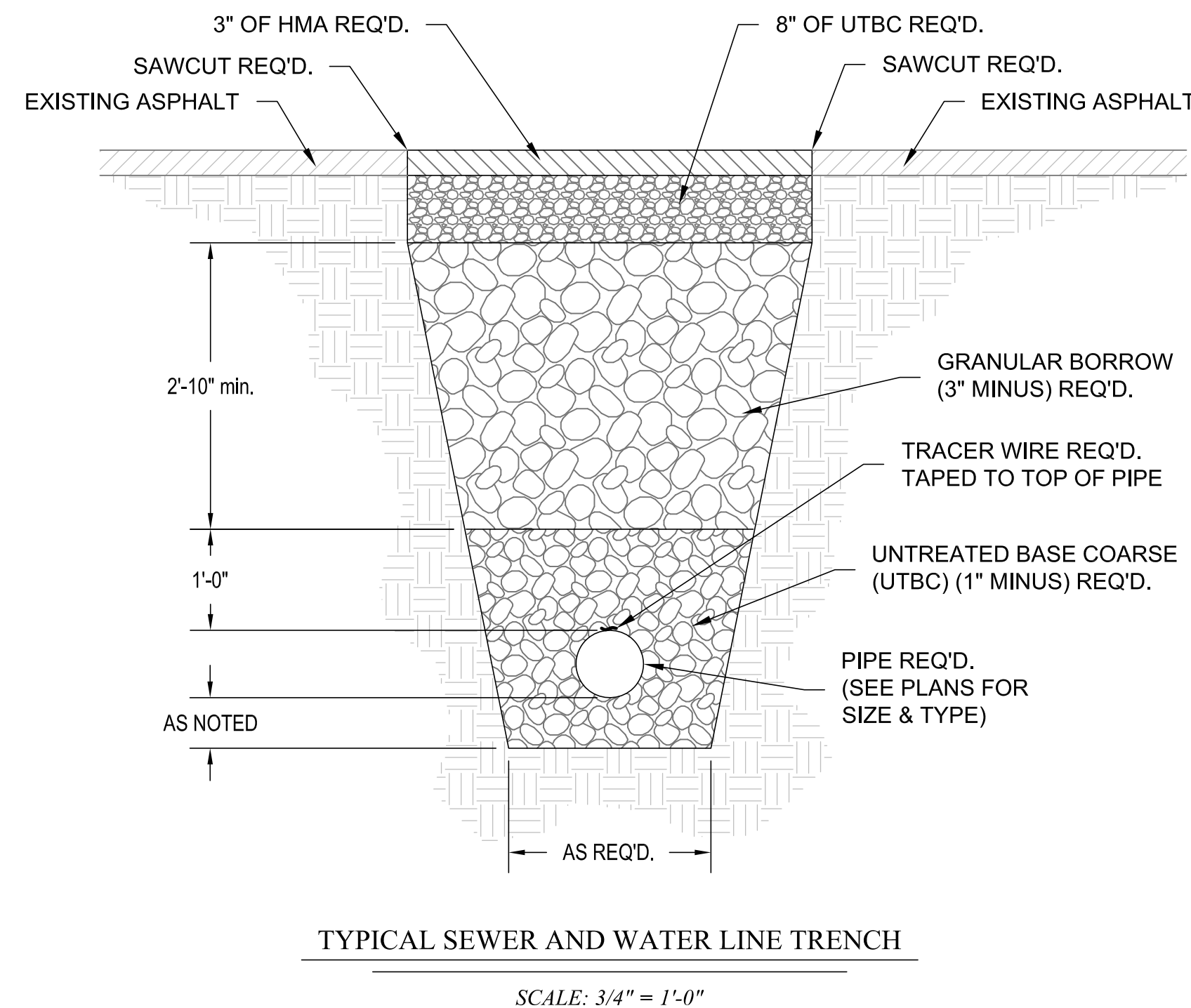
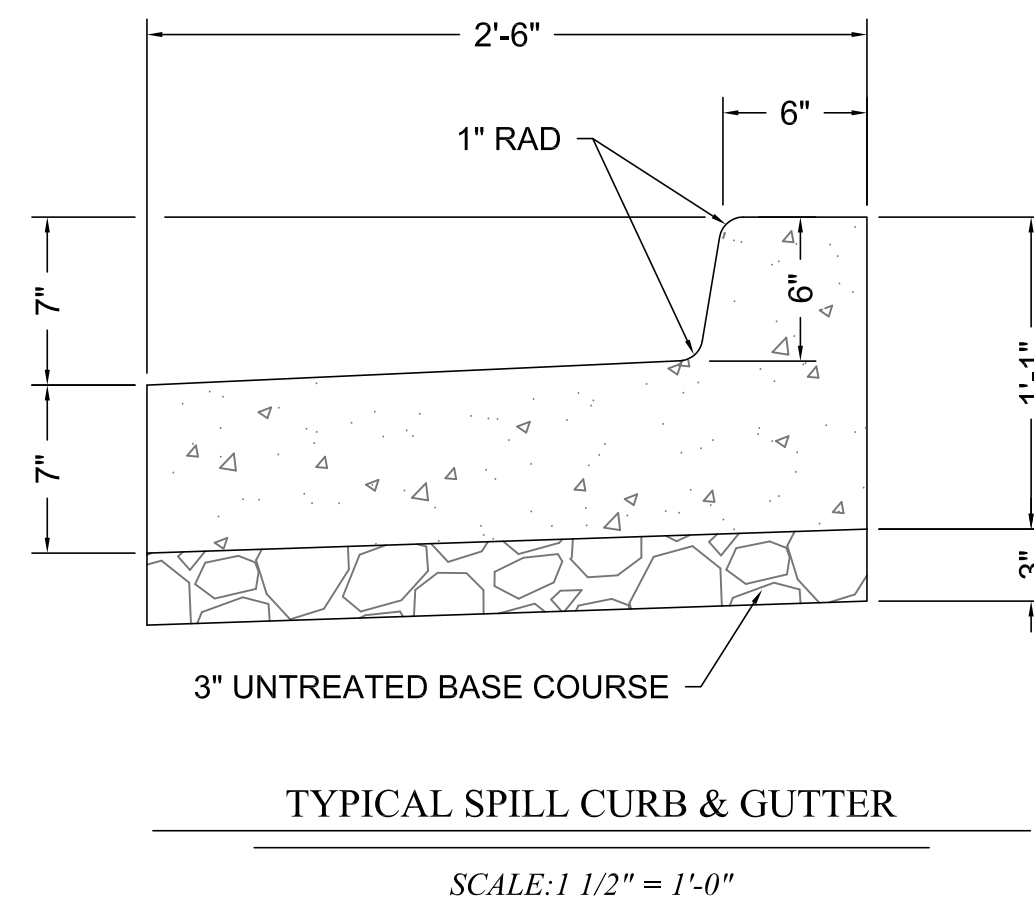
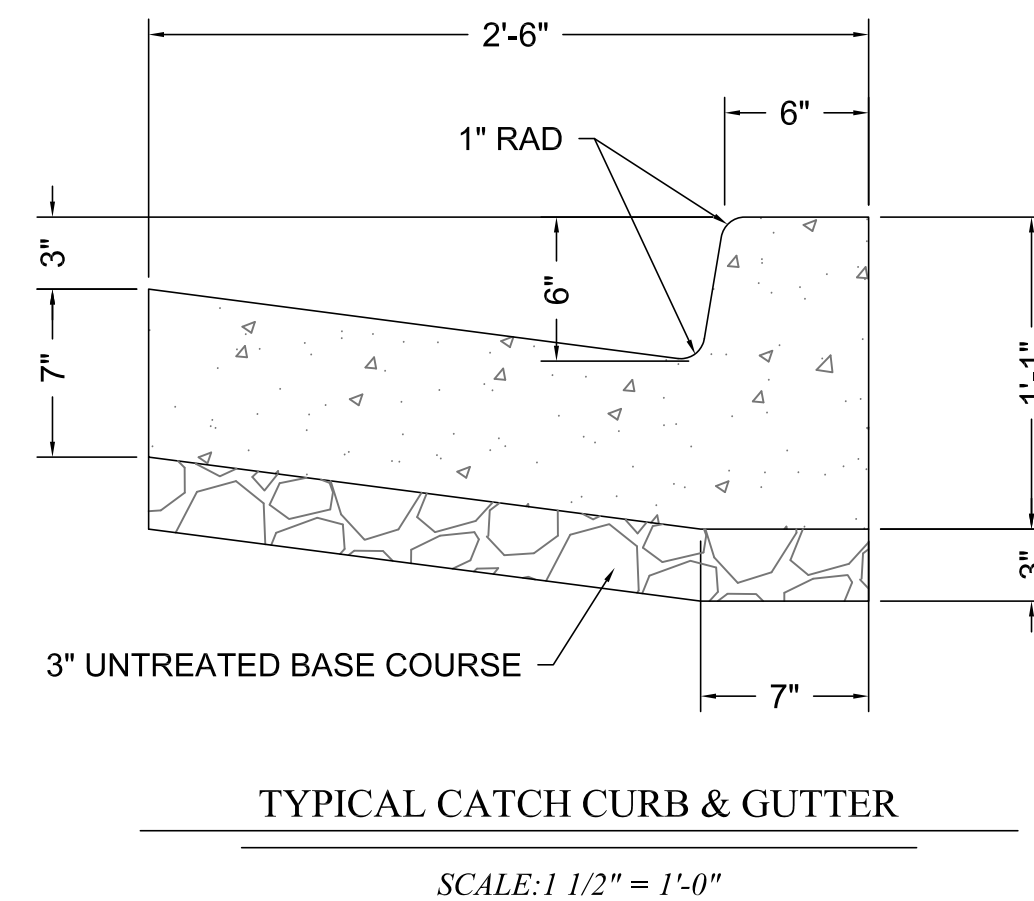
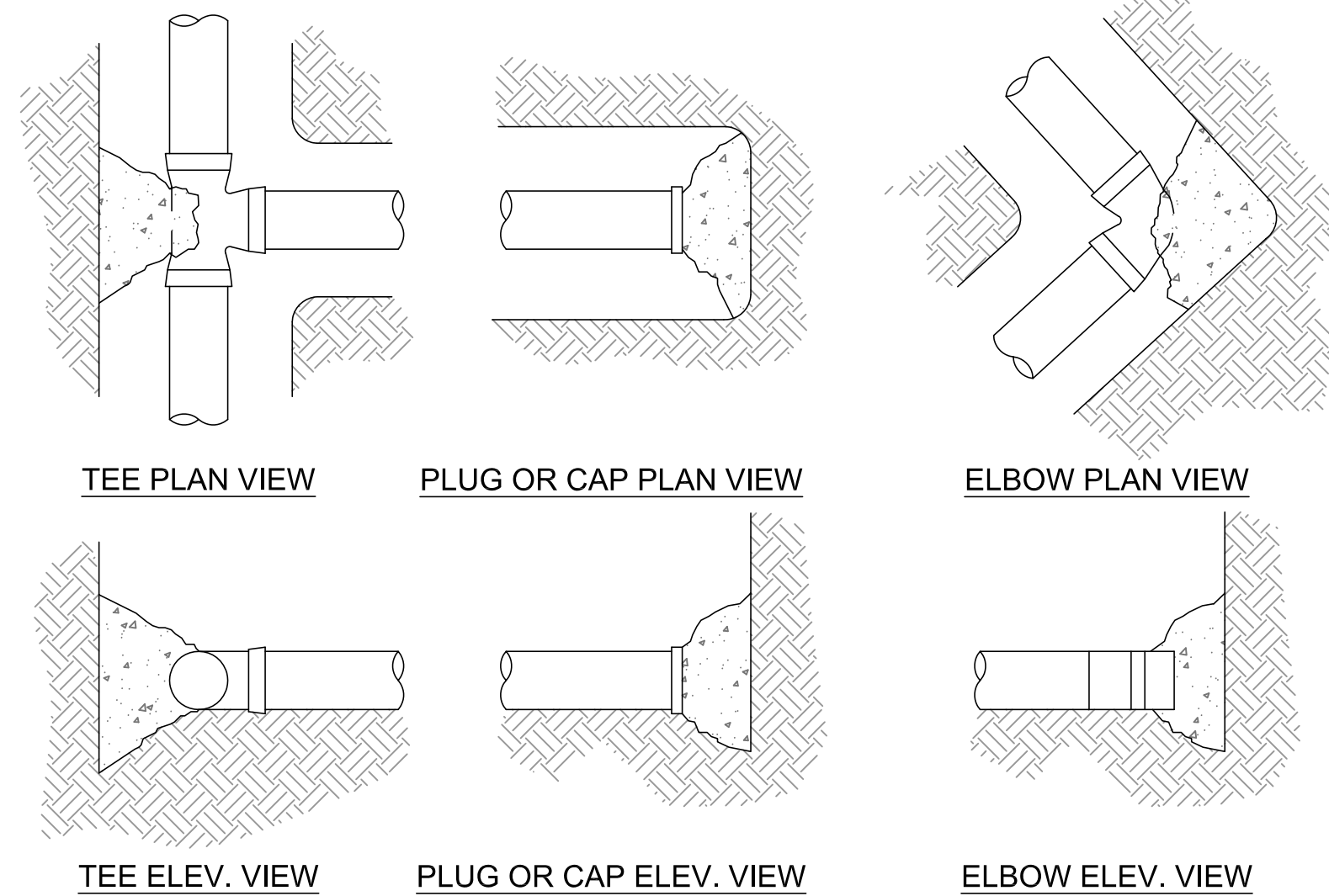
**UTILITY
PLAN**

CU101



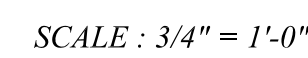
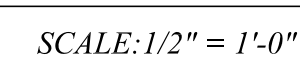
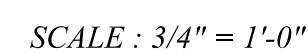
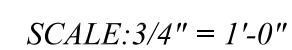
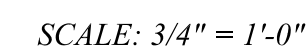
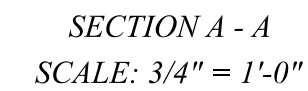
THRUST BLOCK CONSTRUCTION NOTES:

1. ALL THRUST BLOCK FACES SHALL BE PLACED AGAINST UNDISTURBED SOIL OR COMPACTED BACKFILL
2. CONCRETE SHALL BE READY MIX.
3. IN UNSTABLE SOILS A SPECIAL DESIGN IS REQ'D.
4. MIN. SIZE OF THRUST BLOCK SHALL BE 9 CU. FT.
5. DO NOT POUR OVER THE TOP OF FITTINGS
6. ALL FITTINGS ARE TO BE COVERED WITH PLASTIC SHEETING BEFORE PLACING CONCRETE THRUST BLOCKS
7. ALL BEND FITTINGS SHALL RECEIVE A THRUST BLOCK. (GREATER THAN 22.5")
8. ALL THRUST BLOCKS SHALL BE ADEQUATELY CURED PRIOR TO PRESSURIZING THE PIPELINE





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Date	Revision
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DETAILS

CG503



ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR DEVELOPMENT OF AN EXECUTIVE, LEGISLATIVE AND JUDICIAL FUNCTIONS BUILDING AND LAND USE LOCATED AT 120 EAST MAIN STREET WITHIN THE COMMERCIAL 1 ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **SETH OVESON**, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **CARBON COUNTY, SETH OVESON**.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **SETH OVESON**, (Applicant), for the property located at **120 EAST MAIN STREET**.

Term: the term of this agreement commences on **September 26th, 2016** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- **Site Plan:**
 - Exterior area and parking lot lighting per the lighting plan. Exterior lighting to be high efficiency LED fixtures only.
 - Fencing to be installed as indicated: (Re)Install as needed a six foot (6') sight obscuring fencing surrounding bank to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: Main Street and 200 East. (Re)Install as needed a six foot (6') sight obscuring fencing surrounding residential structures and properties to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: 200 East and 100 South.
 - Ingress & Egress: Main Street driveway to be a minimum of thirty-feet (30') in width finding that wider ingress/egress at the location may mitigate vehicle and pedestrian conflicts. 100 East driveway to be a minimum of thirty-feet (30') in width and signage posted to direct secure & non-secure access to the sally-port.
 - Installation of a minimum of five percent (5%) landscaping compliant with the Code finding that landscaped developments improve the community aesthetic. Minimum of eighty-five percent (85%) landscaping drought tolerant and water-wise. Backflow prevention installed & inspected by Price City Water Department prior to use/operation of irrigation system. Plantings, lighting, concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north.
 - Off-street parking to be a minimum of one-hundred twenty-eight (128) spaces (38,344 net usable square feet / 300 = 127.81 → 128) for the overall site finding that adequate off-street parking mitigates congestion on roadways surrounding the development. Shared parking with adjoining uses permitted. On-street parking to be striped angle parking consistent with size and angles in Chapter 6 of the Code. No parking or storage of commercial, industrial, construction vehicles and equipment.
 - Garbage dumpster to be located within an enclosure with sight obscuring gate inserts to prevent unauthorized access including a service frequency to mitigate wind scatter of garbage, rubbish or debris and nuisance accumulations or odors. No hazardous or other restricted materials or items to be disposed of in garbage dumpster.
 - Fire Department Red Zones and access to be coordinated with the Price City Fire Chief finding that compliant and functional fire access and infrastructure protect the health, safety and welfare of the public. Includes access points, fire department connections, fire risers, on-site hydrant placement, hydrant minimum flow, supply line sizing.
 - Building signage and way-finding signage to only be installed upon completion of submission of final signage plan, review and authorization by the Price City Planning Department. Signage to include numeric address and street locator. Monument sign, per Section 4.13.1.1.a of the Code, not to exceed forty-five square feet in size as indicated.
- Water, sewer and electric utility connections to be coordinated and installed under the direction of the Price City water/sewer department and Price City electric department finding that properly coordinated utility connections provide long-term service to development.
 - Electrical load sheet to be submitted to the Price City electric department in advance of connection request.
 - Provide to Price City all necessary utility easements for access to installed public utilities, including fire department access.
- **Existing Structures:**
 - Existing 7th District Court Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses may require additional review and permitting.
 - Existing Carbon County P&Z Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses may require additional review and permitting.
- **Plans, Licenses, Permits and Documents:**
 - Completion of a geotechnical study by a qualified geotechnical engineer and submission of the study to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the study.
 - Completion of a storm water management plan and submission of the plan to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the plan. Plan to address a 100 year storm event and mitigate any storm water runoff impact on neighboring and surrounding property. All storm water runoff must not flow to neighboring properties and must be fully mitigated.
 - Completion of a Public Infrastructure Development Agreement and submission of the required financial surety, if required, to the Price City Public Works Department. All public infrastructure to be (re)installed/replaced surrounding the development site meeting Price City Minimum Standards and coordinated with the Price City Engineer. Plantings, lighting and concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north, as indicated above in landscaping requirements section. Decorative Bump-Outs at curb line into roadway restricted.
 - Completion of a Private Utility Agreement, if required, to the Price City Public Works Department.
 - Complete a Price River Water Improvement District (PRWID) Waste Water Survey and submit to PRWID, copy to Price City, and compliance with all directed waste water system protection recommendations stemming from the survey including grease traps and sampling manholes provided by PRWID or Price City.
 - Submission of construction plans to Price City and procurement of a Price City building permit prior to commencement of construction finding that properly licensed, permitted and inspected commercial development protects the health, safety and welfare of the community. Construction plans to be reviewed for compliance with the IBC 2015 and all construction consistent with that review and any plan amendments stemming from the review. Inspection of the building construction locally by Price City or by Carbon County only upon final execution of a building inspection agreement between Price City and Carbon County.
- All development consistent with all information, agreements, documents submitted to Price City finding that development consistent with supplied information mitigates misunderstandings and promotes efficient development activity in the community.
- No condition at the property or structure that violation the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS ____ **DAY OF** _____, **20** ____.

Price City

Applicant:

By Robert Oliver, Chair

SETH OVESON

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: AN EXECUTIVE, LEGISLATIVE
AND JUDICIAL FUNCTIONS BUILDING AND LAND
LOCATED AT 120 EAST MAIN STREET, WITHIN
THE COMMERCIAL 1 (C-1) ZONING DISTRICT**


CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____

DATE _____

Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
MILES NELSON




185 EAST MAIN • P.O. BOX 893 • PRICE, UT 84501
PHONE (435) 637-5010 • FAX (435) 637-2905
www.pricacityutah.com

Price City Planning & Zoning Commission

Planning & Zoning Commissioners
ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT
JAN YOUNG
ALTERNATE: ERROLL HOLD
ALTERNATE: TODD THORNE

DATE: SEPTEMBER 8TH, 2016

TO: PRICE CITY PLANNING & ZONING COMMISSION

FROM: NICK TATTON
PRICE CITY 

RE: DISABLED ADULTS DAY PROGRAM OFFICE – FINAL APPROVAL

Please find attached a Conditional Use Permit (CUP) application a submitted by Sarah Norton to locate an office for administration of programming for day services for disabled adults called America Supports One, LLC., at 214 E 100 N within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria is listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code, the land uses are as follows:

- Public, private, or quasi-public social services administration and activity, Conditional land use, Code Section 11.3.5.41;
- Special training and schooling, Conditional land use, Code Section 11.3.10.3.1;
- Welfare and charitable services, Conditional land use, Code Section 11.3.10.4.2

It is the recommendation of staff to review the operation of the business with the applicant including the site plan elements from the checklist. It should be confirmed with the applicant that the location is approved for day programming and administration only, any other land uses or operations may require additional application, consideration and possible approval.

RECOMMENDED MOTION(S):

- Move to recommend final approval for Sarah Norton, America Supports One, LLC. to locate at 214 East 100 North within the Commercial 1 (C-1) zoning district based upon the general land use evaluation criteria listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code, the conditional land uses of: (1) Public, private, or quasi-public social services administration and activity, Code Section 11.3.5.41; (2) Special training and schooling, Code Section 11.3.10.3.1; (3) Welfare and charitable services, Code Section 11.3.10.4.2, and subject to the following conditions of approval:

- No parking or storage of commercial vehicles, equipment, trailers at site or on-street finding that restricted parking and storage mitigates the potential for vehicle or pedestrian accidents.
- All garbage, rubbish and debris to be deposited in a qualified garbage dumpster or canister and serviced at a frequency to prevent accumulations of garbage, rubbish and debris or wind scatter of garbage, rubbish and debris finding that contained garbage, rubbish and debris is consistent with the Price City General Plan.
- Procurement of a building permit for any building modifications/renovations finding that properly permitted and inspected commercial building modifications/renovations protect the health, safety and welfare of the community.
- Inspection of the location by the Price City Building Inspector and Price City Fire Chief for safety and compliance with all recommendations stemming from the inspections finding that inspected structures protect the health, safety and welfare of the community.
- Submission and review of all business signage prior to installation to the Price City Planning Department finding that properly reviewed and approved commercial signage is consistent with the Price City General Plan.
- Procurement of a Price City Business license finding that all businesses must have current Price City Business Licenses to operate legally within Price City.
- No land use activity at the location not specifically approved herein finding that additional business activities or land uses may require additional conditional use permitting.
- a. No condition at the property or structure that violation the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.
- c. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee: \$100



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
☐ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☐ Preliminary
☐ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: <u>Sarah Norton</u>		2. Title: <u>Owner</u>	
3. Applicant's Mailing Address: <u>P.O. Box 991</u>		4. Suite/Apt. No.:	
5. City: <u>Wellington</u>	6. State: <u>Utah</u>	7. Zip Code: <u>84542</u>	
8. County: <u>Carbon</u>		9. Telephone: <u>(435) 650-1438</u>	
Project Information			
10. Name of Project (Business): <u>America Supports One</u>			
11. Address of Proposed Project: <u>214 East 100 North Price, Utah</u>			
12. Zone District (see attached zoning map):			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ _____ b) Buildings \$ _____ c) Other \$ _____ Total \$ _____		22. Electrical Load Sheet: (Attach preliminary and final to application)	
		23. Project Plans: <input type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____	

24. Brief Description of Project:

See Busn Lic. Appl. (nt)

25. Justification (Explain why this project is needed):

Need

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1.		()
2.		()
3.		()

27. Estimated Starting Date:

28. Estimated Completion Date:

29. Has P.R.W.I.D. Sewer Survey Been Submitted? ☐ Yes ☐ No

X Roy Hoffer

9/7/16

Signature of Property Owner

Date

X Roy Hoffer

Owner

Please Print Name

Title

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

☒ Approve

☐ Decline

Comments:

11.1 & 11.1.m - evaluation criteria

11.3.5.41 - land use = c

11.3.10.4.2 - land use = c

11.3.10.3.1 - land use = c

Signature:

[Signature]

Date:

9-8-16

Requires:

☒ Building Permit

- any renovations

☒ Conditional Use Permit

- land use

☐ Code Amendment

☐ Board of Adjustments Variance

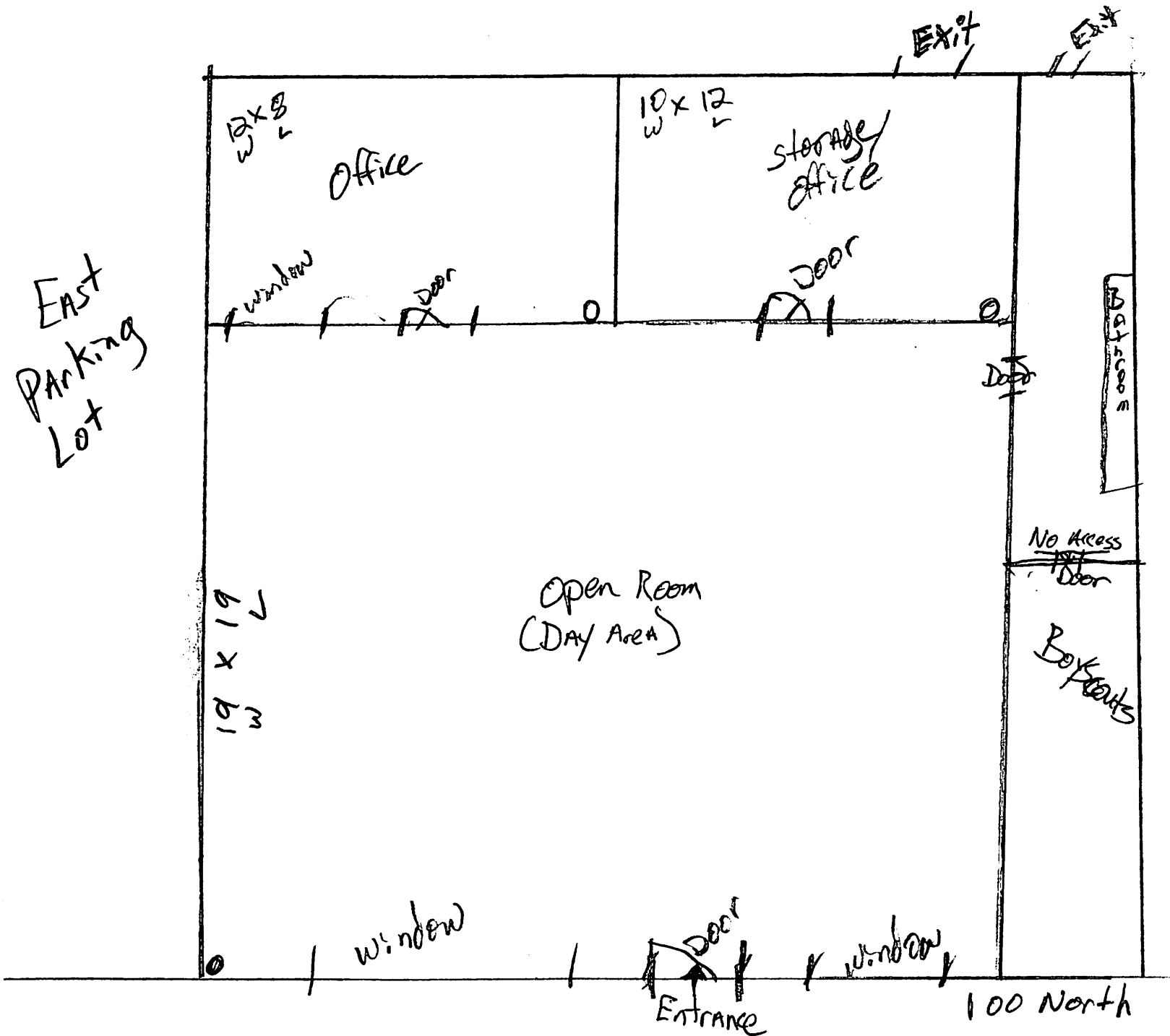
☐ Flood Plain Development Permit

☒ Other:

Busn License

SITE PLAN

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.



○ = Fire Extinguisher



Account No: 3223
Business Activity: 624 Social Assistance
Fee: \$150
CC: 09-2876



BUSINESS LICENSE APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable licensing fees to: Price City Business Licensing, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3183.

PLEASE TYPE OR PRINT LEGIBLY.

☐ Renewal (check and show **changes only** on form below)

Business Information

Business Status: ☒ New Business ☐ Location Change ☐ Name Change ☐ Ownership Change

Business Name (include DBA): American Supports One, LLC

If Name Change, list previous name:

Business Address: 214 East 100 North Price, Utah

Suite/Apt. No.:

City: Price

State: Utah

Zip Code: 84501

Business Telephone: (435) 650-9994

Business E-mail:

Business Fax:

Mailing Address (if different): PO Box 991

City: Wellington

State: Ut

Zip Code: 84542

Property Owner's Name: Roy Hofer

Property Owner's Telephone: (435) 637-2542

Type of Organization: ☐ Corporation ☐ Partnership ☐ Sole Proprietorship ☒ LLC
(Include copy of name registration with the State of Utah)

Type of Business: ☒ Commercial ☐ Home Occupation ☐ Reciprocal Building Occupancy Type:

Nature of Business: ☐ Manufacturing ☐ Retail ☐ Wholesale ☐ Services ☒ Other: Adult Disabled Services

Opening Date: Sept. 12, 16 Business Hours: From 08:00 To 16:00 MTWTFSS (please circle)

Detailed Description of Business: Support services for disabled Adults. Day Programming centered on Personal Support Plans.

Commercial Square Feet: 1,100 Approximate Sq. Feet

No. of Mobile Home Spaces: 0

No. of RV Spaces: 0

State Sales Tax I.D. No. (Include copy or proof of exemption):

Federal Tax I.D. No. (Include copy, if applicable): 81-3699824

State License No. (Include copy, if applicable): 16W10218

State License Type: OSBR/LLC

THE FOLLOWING LICENSES ARE SUBJECT TO ADDITIONAL REQUIREMENTS. Please contact the Business Licensing Officer (City Treasurer) at (435) 636-3161, or 185 East Main, for more information. **Check all that apply.**

- ☐ Alcoholic Beverages
- ☐ Eating Establishment
- ☐ Taxi Cab/Motor Carrier
- ☐ Pawnbroker
- ☐ Sexually Oriented Business

NOTE: If applying for any of these businesses, other than an Eating Establishment, please complete the **Consent to a Background/Criminal History Check** form included with this application.

If applicant is a SOLE PROPRIETOR, complete this section.

Owner's Name: <u>Sarah Norton</u>		
Owner's Address: <u>1247 E MAIN ST.</u>	Suite/Apt. No.:	
City: <u>Wellington</u>	State: <u>UTAH</u>	Zip Code: <u>84542</u>
Owner's Telephone: <u>(435) 650-1438</u>	Owner's E-mail:	Owner's Fax:
Owner's Birth Date: <u>10/28/91</u>	Owner's Drivers License No. (include state & provide copy): <u>175588977 UTAH</u>	

Manager Information (if applicable)


Manager's Name: <u>John Bowman</u>		
Manager's Address: <u>640 N. 200 E.</u>	Suite/Apt. No.:	
City: <u>Price</u>	State: <u>UTAH</u>	Zip Code: <u>84501</u>
Manager's Telephone: <u>(435) 650-9994</u>	Manager's E-mail: <u>Contact Johnny Bowman@gmail.com</u>	Manager's Fax:
Manager's Birth Date: <u>8-10-73</u>	Manager's Drivers License No. (include state): <u>150414666 UTAH</u>	

If applicant is a CORPORATION, PARTNERSHIP, OR LLC, complete this section.

ALL OFFICERS (First/Middle/Last)	HOME ADDRESS (City, ST, Zip)	HOME TELEPHONE
1. <u>NA</u>		()
2.		()
3.		()

TITLE	DATE OF BIRTH (MM/DD/YYYY)	DRIVERS LICENSE NO. (Include copy)
1.	/ /	# ST
2.	/ /	# ST
3.	/ /	# ST

I am aware that this application does not constitute approval to operate a business. I hereby agree to conduct said business strictly in accordance with the laws and ordinances covering such business, and swear under penalty of law that the information contained herein is true.


8/30/16
 Signature of Owner/Agent Date
Sarah Norton Owner
 Please Print Name Title

Please allow at least 10 working days for your application to be processed.

Office Use Only

Approvals:
 Business Licensing: _____ Fire: _____ Inspection: _____
 Police: _____ P & Z: _____ Other: _____
 Date Approved: _____

Business Registration Completion!

You have successfully registered **American Supports One, LLC** with the State of Utah. Please review the information provided below for applicable account details and make sure that you print out this page and any applicable forms for your records.

Please Note: You will need to directly contact the local government (municipality or county) for each business location in order to complete the business license process.

Now that you have successfully completed your business registration, you will need to renew your business entity once a year. If you have registered a DBA, you will need to renew every three years.

To renew, update or make any changes to your business entity, please visit: <https://secure.utah.gov/abr/abr>.

BUSINESS FRAUD ALERT

Corporate identity theft is on the rise! This service increases your peace of mind by notifying you when a change is made to your business, allowing you to take immediate action. To learn more please visit: [Business Fraud Alert](#)


OSBR Registration Information

Please print out a copy of your OSBR registration information by clicking on the download link below.

Download:  OSBR Registration Information

Utah Department of Commerce, Division of Corporations and Commercial Code

Your Business Registration Number: **10078831-0160**

Download:  Articles (.pdf)

Utah State Tax Commission

Your business has been registered with the Utah State Tax Commission. You have been assigned the following temporary license numbers based on the information you provided during this registration process:

	Temporary License Number
Employee Income Tax Withholding:	16W10218
Sales and Use Tax:	N/A

This system is not a live update to the Tax Commission. The data is transmitted daily and it will take a few days before you receive a license with your permanent account numbers in the mail. Please do not apply for additional sales or withholding numbers for this business. If you do not receive a paper confirmation of your account(s) or a sales license in the mail within two weeks please call 801-297-2200 or 800-662-4335.

Go to: <http://taxexpress.utah.gov/> when you have your permanent account number(s) and sign up to file and pay electronically.

Please visit us at <http://tax.utah.gov> for additional information on taxes and tax collection and reporting responsibilities, helpful publications, tax rates, forms, etc.

Utah Department of Workforce Services (Unemployment Insurance)

Your Unemployment Insurance Employer Identification Number: **7745120**

Your Unemployment Contribution Tax Rate: **not available at this time**

Your Unemployment Insurance PIN: **YW7Y15**

You have been assigned a temporary unemployment insurance (U.I.) account for your business. Account information is subject to change by an examiner during the review and processing of your account registration.

Your registration will remain in a pending status until we receive confirmation that you have paid an employee or corporate officer for services rendered. Please call 801-526-9235 opt 2 or toll free at 1-800-222-2857 opt 2 to confirm

these payments and to activate your account.

After completion of the examiner's review, a new employer determination letter and PIN confirmation will be mailed to you. The determination letter will contain your confirmed account number, industry classification, and contribution rates. Quarterly reports will be mailed to you or these reports can be filed on our website at <http://jobs.utah.gov>. Your Employer Registration/U.I. Account Number and PIN are required to access your account online.

TO: Price City Business License
From: American Supports One LLC
Date: 09-06-16
RE: Price City Business License

Greetings,

I (print name) Roy Hofer, am the owner of the
property located at 214 East 100 North Price, Utah 84501.

I am leasing said property to American Supports One LLC. American Supports One LLC is a business that provides direct and indirect supports for people with disabilities. This letter is to be furnished to Price City Business Licensing Department so that American Support One LLC can obtain a Price City Business License.

Owner Signature: Roy Hofer

Date: 9-7-16



DEPARTMENT OF THE TREASURY
INTERNAL REVENUE SERVICE
CINCINNATI OH 45999-0023

Date of this notice: 08-29-2016

Employer Identification Number:
81-3699824

Form: SS-4

Number of this notice: CP 575 A

For assistance you may call us at:
1-800-829-4933

AMERICAN SUPPORTS ONE
SARAH K NORTON SOLE MBR
PO BOX 991
WELLINGTON, UT 84542

IF YOU WRITE, ATTACH THE
STUB AT THE END OF THIS NOTICE.

WE ASSIGNED YOU AN EMPLOYER IDENTIFICATION NUMBER

Thank you for applying for an Employer Identification Number (EIN). We assigned you EIN 81-3699824. This EIN will identify you, your business accounts, tax returns, and documents, even if you have no employees. Please keep this notice in your permanent records.

When filing tax documents, payments, and related correspondence, it is very important that you use your EIN and complete name and address exactly as shown above. Any variation may cause a delay in processing, result in incorrect information in your account, or even cause you to be assigned more than one EIN. If the information is not correct as shown above, please make the correction using the attached tear off stub and return it to us.

Based on the information received from you or your representative, you must file the following form(s) by the date(s) shown.

Form 941
Form 940

01/31/2017
01/31/2017

If you have questions about the form(s) or the due date(s) shown, you can call us at the phone number or write to us at the address shown at the top of this notice. If you need help in determining your annual accounting period (tax year), see Publication 538, *Accounting Periods and Methods*.

We assigned you a tax classification based on information obtained from you or your representative. It is not a legal determination of your tax classification, and is not binding on the IRS. If you want a legal determination of your tax classification, you may request a private letter ruling from the IRS under the guidelines in Revenue Procedure 2004-1, 2004-1 I.R.B. 1 (or superseding Revenue Procedure for the year at issue). Note: Certain tax classification elections can be requested by filing Form 8832, *Entity Classification Election*. See Form 8832 and its instructions for additional information.

If you are required to deposit for employment taxes (Forms 941, 943, 940, 944, 945, CT-1, or 1042), excise taxes (Form 720), or income taxes (Form 1120), you will receive a Welcome Package shortly, which includes instructions for making your deposits electronically through the Electronic Federal Tax Payment System (EFTPS). A Personal Identification Number (PIN) for EFTPS will also be sent to you under separate cover. Please activate the PIN once you receive it, even if you have requested the services of a tax professional or representative. For more information about EFTPS, refer to Publication 966, *Electronic Choices to Pay All Your Federal Taxes*. If you need to make a deposit immediately, you will need to make arrangements with your Financial Institution to complete a wire transfer.

LLC

**Certificate of Organization
OF
American Supports One, LLC**

The undersigned person(s) do hereby adopt the following Certificate of Organization for the purpose of forming a Utah Limited Liability Company.

Article I

The name of the limited liability company is to be American Supports One, LLC

Article II

The purpose or purposes for which the company is organized is to engage in:
Support services for disabled adults. Day Programming centered on Personal Support Plans established through support services, case workers, ASO and and behavioral specialists.

The Company shall further have unlimited power to engage in or to perform any and all lawful acts pertaining to the management of any lawful business as well as to engage in and to do any lawful act concerning any and all lawful business for which a Limited Liability Company may be organized under the Utah Limited Liability Company Act and any amendments thereto.

Article III

The Company shall continuously maintain an agent in the State of Utah for service of process who is an individual residing in said state. The name and address of the initial registered agent shall be:

(Registered Agent Name & Address)

Sarah K Norton
1247 East Main
Wellington, UT, 84542



State of Utah
Department of Commerce
Division of Corporations & Commercial Code

This certifies that this registration has been filed and approved on 30, August 2016 in the office of the Division and hereby issues this Certification thereof.

Kathy Berg

KATHY BERG
Division Director



PRICE CITY POLICE DEPARTMENT

910 NORTH 700 EAST
PRICE, UTAH 84501
(435) 636-3190

CONSENT TO A BACKGROUND/CRIMINAL HISTORY CHECK

I hereby consent to a background security and criminal history check to be performed by the Price City Police Department in connection with my business license application.

Dated this 3rd day of August, 20 16.



Signature

Sarah Norton

(Please Print Name)

UT
USA

Utah DRIVER LICENSE



4d 175588977

4a Iss 10/26/2012

1 NORTON

2 SARAH KATHRYN

3 DOB 10/28/1991

8 1247 E MAIN ST
WELLINGTON, UT 84542

5 DD 1 J

4b Exp 10/28/2017

9 Class D 9a End

12 Restrictions A

DONOR N 16 Hgt 5'06"

13 Eyes BLK

15 Sex F 17 Wgt 120

19 Hair BRO

[Signature]

ZONING DISTRICTS APPLICABILITY		C1	M1	M2
11.3.5.24	Laundrying, dry cleaning, and dyeing services	C	P	P
11.3.5.25	Medical clinics – outpatient services	C	-	-
11.3.5.26	Medical laboratory services	C	P	P
11.3.5.27	News syndicate services	P	-	-
11.3.5.28	Painting, wall coverings and decorating services	P	P	P
11.3.5.29	Photographic services	P	C	C
11.3.5.30	Plumbing, heating and air-conditioning services	C	P	P
11.3.5.31	Private clubs including fraternal and sorority membership organizations with or without alcohol	C	-	-
11.3.5.32	Professional health and care offices and clinics – Medical offices, Dentist offices	C	-	-
11.3.5.33	Real estate agents, brokers, and management services	P	-	-
11.3.5.34	Real estate operative construction builders	C	P	P
11.3.5.35	Real estate subdividing and land developing services	C	P	P
11.3.5.35.5	Recycling Operations (not vending machine based inside of other establishments)	C	C	C
11.3.5.36	Roofing and sheet metal services	C	P	P
11.3.5.36.5	Salon Businesses. May include barber and beauty, massage, therapy, tanning, limited related services training, etc.	P	P	P
11.3.5.37	Security services and commodity brokers, dealers, exchanges and services	P	-	-
11.3.5.38	Schools (commercial)	C	-	-
11.3.5.39	Sexually oriented business when complying with the sexually oriented business ordinance	-	C	C
11.3.5.40	Skin art, tattooing, piercing, body alteration. No drug paraphernalia, no sexual items or services. Must be ½ mile from other similar existing land use.	C	C	C
11.3.5.41	Public, private, or quasi public social services administration and activity	C	C	C
11.3.6	ENTERTAINMENT			
11.3.6.1	Drive-in theaters	C	C	-
11.3.6.2	Legitimate theaters	C	-	-
11.3.6.3	Motion picture theaters	C	-	-
11.3.6.4	Race tracks (commercial)	C	C	C
11.3.6.5	Sports activities facilities	C	C	C

ZONING DISTRICTS APPLICABILITY		C1	M1	M2
11.3.9.13	Mining			
11.3.9.13.1	Chemical and fertilizers (mineral) mining	-	-	C
11.3.9.13.2	Coal mining	-	-	C
11.3.9.13.3	Crude petroleum and natural gas. Well drilling is a temporary use, 6 months or less. Well operation is a permanent use. Must be 600 feet or more from any residential land use.	-	C	C
11.3.9.13.4	Dimension stone	-	-	C
11.3.9.13.5	Land excavations	C	C	C
11.3.9.13.6	Metal ore mining	-	-	C
11.3.9.13.7	Sand and gravel – quarrying	-	-	C
11.3.9.13.8	Other mining and quarrying of nonmetallic minerals (except fuels)	-	-	C
11.3.9.14	Outdoor Storage			
11.3.9.14.1	Auto wrecking yards	-	-	C
11.3.9.14.2	Outdoor storage (non-auto)	-	C	C
11.3.9.14.3	Petroleum products bulk plants	-	C	C
11.3.10	INSTITUTIONAL			
11.3.10.1	Health services			
11.3.10.1.1	Hospital services	C	C	C
10.3.10.1.2	Nursing Home	C	-	-
10.3.10.1.3	Rehabilitation/Treatment Facility	C	-	-
11.3.10.1.4	Sanitariums, convalescent centers and facilities	C	-	-
11.3.10.1.5	Retirement Home	C	-	-
11.3.10.1.6	Sheltered Workshop	C	C	C
11.3.10.2	Government services			
11.3.10.2.1	Correctional institutions	C	C	C
11.3.10.2.2	Executive, legislative and judicial functions	C	C	C
11.3.10.2.3	Postal services	C	C	C
11.3.10.2.4	Protective functions and their related activities	C	C	C
11.3.10.3	Educational services			
11.3.10.3.1	Special training and schooling	C	C	C
11.3.10.3.1.5	Public or Private School – K to 12	C	C	C
11.3.10.3.1.6	Public or Private School – Higher Education (College &	C	C	C

ZONING DISTRICTS APPLICABILITY		C1	M1	M2
	University)			
11.3.10.3.2	Trade or Vocational School	C	C	C
11.3.10.4	Religious and welfare services			
11.3.10.4.1	Churches, synagogues, and temples, chapels, etc.	C	C	C
11.3.10.4.2	Welfare and charitable services	C	C	C
11.3.10.5	Public and quasi-public			
11.3.10.5.1	Art galleries	P	-	-
11.3.10.5.2	Fairgrounds	C	C	C
11.3.10.5.3	Libraries	P	C	C
11.3.10.5.4	Museums	P	-	-
11.3.10.5.5	Nature exhibitions	C	-	-
11.3.10.5.6	Public assembly, misc. purposes	C	C	-
11.3.10.5.7	Public information centers	P	-	-
11.3.10.6	Entertainment, recreation and open space group or organized camps			
11.3.10.6.1	Gymnasiums and athletic clubs	C	C	C
11.3.10.6.2	Parks – general recreation	P	-	-
11.3.10.6.3	Parks – leisure and ornamental	P	P	-
11.3.10.6.4	Playgrounds	C	-	-
11.3.10.6.5	Play lots or tot lots	C	-	-
11.3.10.6.6	Recreation centers (general)	C	C	C
11.3.10.6.7	Swimming pools	C	C	C
11.3.10.7	Streets and other circulation elements			
11.3.10.7.1	Airports	-	C	C
11.3.10.7.2	Alleys – maintenance of alleys is the responsibility of the adjoining, fronting or abutting property owner(s)	C	C	C
11.3.10.7.3	Freeways	C	C	C
11.3.10.7.4	Streets, public	C	C	C
11.3.10.7.5	Streets, private	C	C	C
11.3.10.7.6	Railroads and appurtenances	C	C	C
11.3.11	LAND DEVELOPMENTS			
11.3.11.1	Subdivisions	C	C	C
11.3.11.2	Planned unit developments	C	C	C



P. O. Box 893 Price, Utah 84501

To: AMERICAN SUPPORTS ONE, LLC
PO BOX 991
WELLINGTON UT 84542

2016 Price City Business License

Type of Business: GENERAL BUSINESS LICENSE

Name: SARAH NORTON

Location: 214 EAST 100 NORTH

License No: 3223

Date Issued: 09/06/2016

License Period: 09/06/2016

12/31/2016

Fee: 150.00



NOTICE:
THIS LICENSE MUST BE POSTED
IN A CONSPICUOUS PLACE

The below named person or firm is hereby granted a license to do business as stated below in Price City, Utah, subject to provisions of the Business Licensing Code of Price City, 2007 and subsequent amendments relating to business license for the period indicated.


City Recorder, Sherrie Gordon



THIS LICENSE IS NON TRANSFERABLE
PLEASE POST LICENSE IN A LOCATION VISIBLE TO THE PUBLIC



P. O. Box 893 Price, Utah 84501

To: AMERICAN SUPPORTS ONE, LLC
PO BOX 991
WELLINGTON UT 84542

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City Recorder, Sherrie Gordon

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COPY

PRICE MUNICIPAL CORPORATION
185 EAST MAIN STREET
P. O. BOX 893
PRICE UT 84501

637-5010

Receipt No: 5.136959 Sep 6, 2016

AMERICAN SUPPORTS ONE

Previous Balance: .00
LICENSE PERMIT FEES
A/R - BUSINESS LIC. 150.00

Total: 150.00

CASH 150.00
Total Applied: 150.00

Change Tendered: .00

09/06/2016 00:03AM

PRICE MUNICIPAL CORPORATION
185 EAST MAIN STREET
P. O. BOX 893
PRICE UT 84501

637-5010

Receipt No: 5.137164 Sep 8, 2016

SARAH NORTON

Previous Balance: .00
LICENSE PERMIT FEES
CUP FEE 100.00

Total: 100.00

CASH 100.00
Total Applied: 100.00

Change Tendered: .00

09/07/2016 03:00PM

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR LOCATING OF A DAY PROGRAM SUPPORT BUSINESS FOR DISABLED ADULTS AT 214 EAST 100 NORTH WITHIN THE COMMERCIAL 1 ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and SARAH NORTON, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with AMERICA SUPPORTS ONE, LLC., SARAH NORTON.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and SARAH NORTON, (Applicant), for the property located at 214 E 100 N.

Term: the term of this agreement commences on September 26th, 2016 and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- No parking or storage of commercial vehicles, equipment, trailers at site or on-street finding that restricted parking and storage mitigates the potential for vehicle or pedestrian accidents.
- All garbage, rubbish and debris to be deposited in a qualified garbage dumpster or canister and serviced at a frequency to prevent accumulations of garbage, rubbish and debris or wind scatter of garbage, rubbish and debris finding that contained garbage, rubbish and debris is consistent with the Price City General Plan.
- Procurement of a building permit for any building modifications/renovations finding that properly permitted and inspected commercial building modifications/renovations protect the health, safety and welfare of the community.
- Inspection of the location by the Price City Building Inspector and Price City Fire Chief for safety and compliance with all recommendations stemming from the inspections finding that inspected structures protect the health, safety and welfare of the community.
- Submission and review of all business signage prior to installation to the Price City Planning Department finding that properly reviewed and approved commercial signage is consistent with the Price City General Plan.
- Procurement of a Price City Business license finding that all businesses must have current Price City Business Licenses to operate legally within Price City.
- No land use activity at the location not specifically approved herein finding that additional business activities or land uses may require additional conditional use permitting.
- No condition at the property or structure that violation the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS ____ DAY OF _____, 20____.

Price City

Applicant:

By Robert Oliver, Chair

SASRAH NORTON

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: A DAY-SERVICES
PROGRAM FOR DISABLED ADULTS
LOCATED AT 214 E 100 N, WITHIN THE
COMMERCIAL 1 (C-1) ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____

DATE _____


Mayor
JOE L. PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
GARY SONNTAG



185 EAST MAIN • P.O. BOX 893 • PRICE, UT 84501
PHONE (435) 637-5010 • FAX (435) 637-2905
www.pricecityutah.com

Planning & Zoning Commissioners
ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT
JAN YOUNG
ALTERNATE: ERROLL HOLT

Price City Planning & Zoning Commission

DATE: AUGUST 23, 2016
TO: PRICE CITY PLANNING & ZONING COMMISSION
FROM: NICK TATTON, PRICE CITY 
RE: CUP - SODA BUSINESS

Please find attached a Conditional Use Permit (CUP) application submitted by Chad Carlson, 100 North, LLC., for a business called Sodalicious to be located at 97 E 100 N within the Commercial 1 (C-1) zoning district. The general evaluation criteria for the land use is in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code. The applicable land uses are: (1) Candy, nuts, confectionary, Code Section 11.3.4.4, a permitted use in the C-1 zoning district; (2) Drive In Restaurants, Code Section 11.3.4.12, a conditional use in the C-1 zoning district; and, (3) Eating Places-Food Consumed on Premises, Code Section 11.3.4.14, a conditional use in the C-1 zoning district.

It is the recommendation of staff to discuss the land use and development schedule with the application in sufficient detail to recommend final approval of the land use to the Price City Council. Recommended items to discuss with the applicant include: business signage and way-finding signage; parking lot re-orientation and restriping, and restrictions on prepared food (no hood or grease trap).

RECOMMENDED MOTION(S):

1. Move to recommend the Price City Council provides final approval for the land use of soda restaurant based on the Conditional Use Permit (CUP) application submitted by Chad Carlson, 100 North, LLC., for a business called Sodalicious to be located at 97 E 100 N within the Commercial 1 (C-1) zoning district, based upon the general evaluation criteria for the land use in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code, the land uses of: (1) Candy, nuts, confectionary, Code Section 11.3.4.4, a permitted use in the C-1 zoning district; (2) Drive In Restaurants, Code Section 11.3.4.12, a conditional use in the C-1 zoning district; and, (3) Eating Places-Food Consumed on Premises, Code Section 11.3.4.14, a conditional use in the C-1 zoning district, and subject to the following conditions of approval:

- a. Removal of not more than four (4) parking spaces from the overall site to accommodate the drive-up window finding that changes in the business mix at the overall site have reduced the parking need by four (4) parking spaces.
 - i. Restriping of parking lot to clearly identify drive-up lane and all parking required.
 - b. Placement of reflective indicators on utility pole adjacent to identified business ingress point to mitigate potential vehicle/pole collisions finding that the ingress is narrow and the utility pole is very close to the ingress.
 - i. Coordinate the enclosure or other treatment of the gap in the gutter overshot immediately to the west of the ingress with the Price City Public Works Department to prevent accident or injury.
 - c. Submission of business and way-finding signage to the Price City Planning Department prior to installation for consideration, review and potential approval finding that properly reviewed and approved signage increased commercial activity in the community.
 - d. No food prep on-site that requires cooking or grease finding that no commercial kitchen equipment is in place including a grease/smoke hood and no waste water grease trap or sampling manhole is present to protect the waste water system.
 - e. Garbage dumpster to be maintained in an enclosed area and serviced at a frequency to prevent nuisance odors in the area finding that prevention of accumulations of garbage and odors is in the best interest of the community.
 - f. Maintain or increase the existing minimum five percent (5%) landscaping at the overall site finding that properly landscaped commercial businesses and corridors improves the community aesthetic and is consistent with the goals in the Price City General Plan.
 - g. Completion and submission of a Price River Water Improvement District (PRWID) waste water survey finding that properly understood waste water discharges mitigate negative impacts to the waste water collection system.
 - h. All renovations and construction work at the business location to be completed under the auspices of a Price City Building Permit and building inspection finding that properly permitted and inspected building alterations protect the health, safety and welfare of the community.
 - i. Procurement of a Price City Business License prior to business operation finding that properly licensed business increase the commercial activity in the community.
 - j. No conditions at the property or structure that violate the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.
2. Move to acknowledge that the applicant, applicant's agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee: _____



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☒ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
☐ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☐ Preliminary
☐ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: <u>100 NORTH, LLC Chad Carlson</u>		2. Title: <u>OWNER</u>	
3. Applicant's Mailing Address: <u>PO Box 807 SPRINGVILLE, UT 84603</u>		4. Suite/Apt. No.:	
5. City: <u>Springville</u>	6. State: <u>UT</u>	7. Zip Code: <u>84603</u>	
8. County:		9. Telephone: <u>(435) 680-1131</u>	
Project Information			
10. Name of Project (Business): <u>SODALICIOUS</u>			
11. Address of Proposed Project: <u>97 E. 100 No. PRICE</u>			
12. Zone District (see attached zoning map):			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input checked="" type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ _____ b) Buildings \$ _____ c) Other \$ <u>10,000</u> Total \$ _____		22. Electrical Load Sheet: (Attach preliminary and final to application)	
		23. Project Plans: <input type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____	

24. Brief Description of Project:

SODALICIOUS SELLS FLAVORED SODA & COOKIES
WE WILL PUT IN A DRIVE UP WINDOW. PLUMBING &
ELECTRICAL IS ALREADY IN PLACE MOSTLY BECAUSE IT
WAS A FORMER COUNDSUMAT

25. Justification (Explain why this project is needed):

SODALICIOUS.COM

FOR PROFIT

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. Chad Carlson	PO BOX 807 SPRINGDALE, UT 84663	(435) 650 1131
2. AJS Holdings		()
3.		()

27. Estimated Starting Date:

9 / 1 / 16

28. Estimated Completion Date:

10 / 15 / 16

29. Has P.R.W.I.D. Sewer Survey
Been Submitted? ☐ Yes ☒ No

Signature of Property Owner

Chad Carlson

Date

8/22/16

OWNER

Please Print Name

Title

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

☐ Approve

☐ Decline

Comments:

Signature:

Date:

Requires:

☐ Building Permit

☐ Conditional Use Permit

☐ Code Amendment

☐ Board of Adjustments Variance

☐ Flood Plain Development Permit

☐ Other:

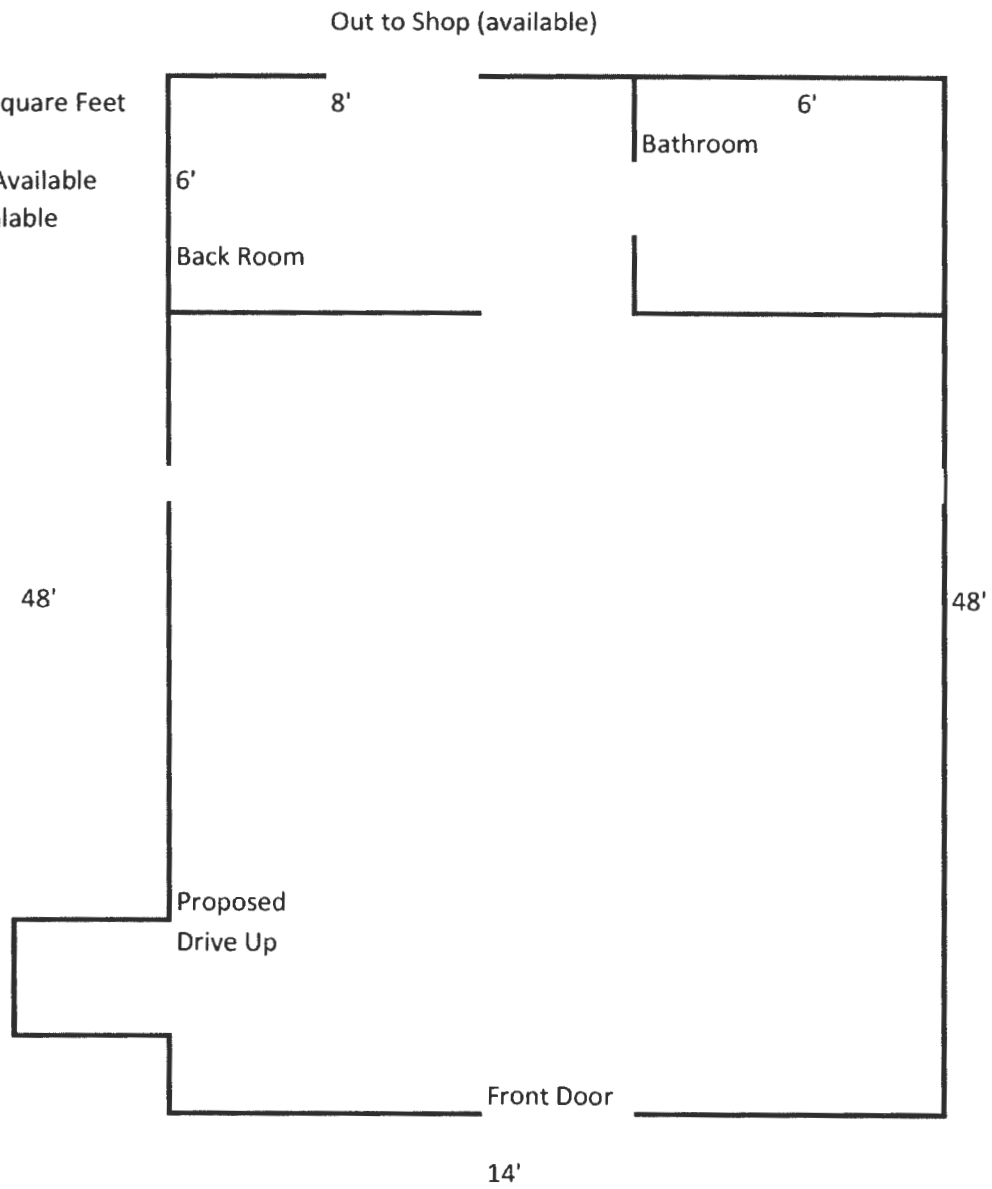
SITE PLAN

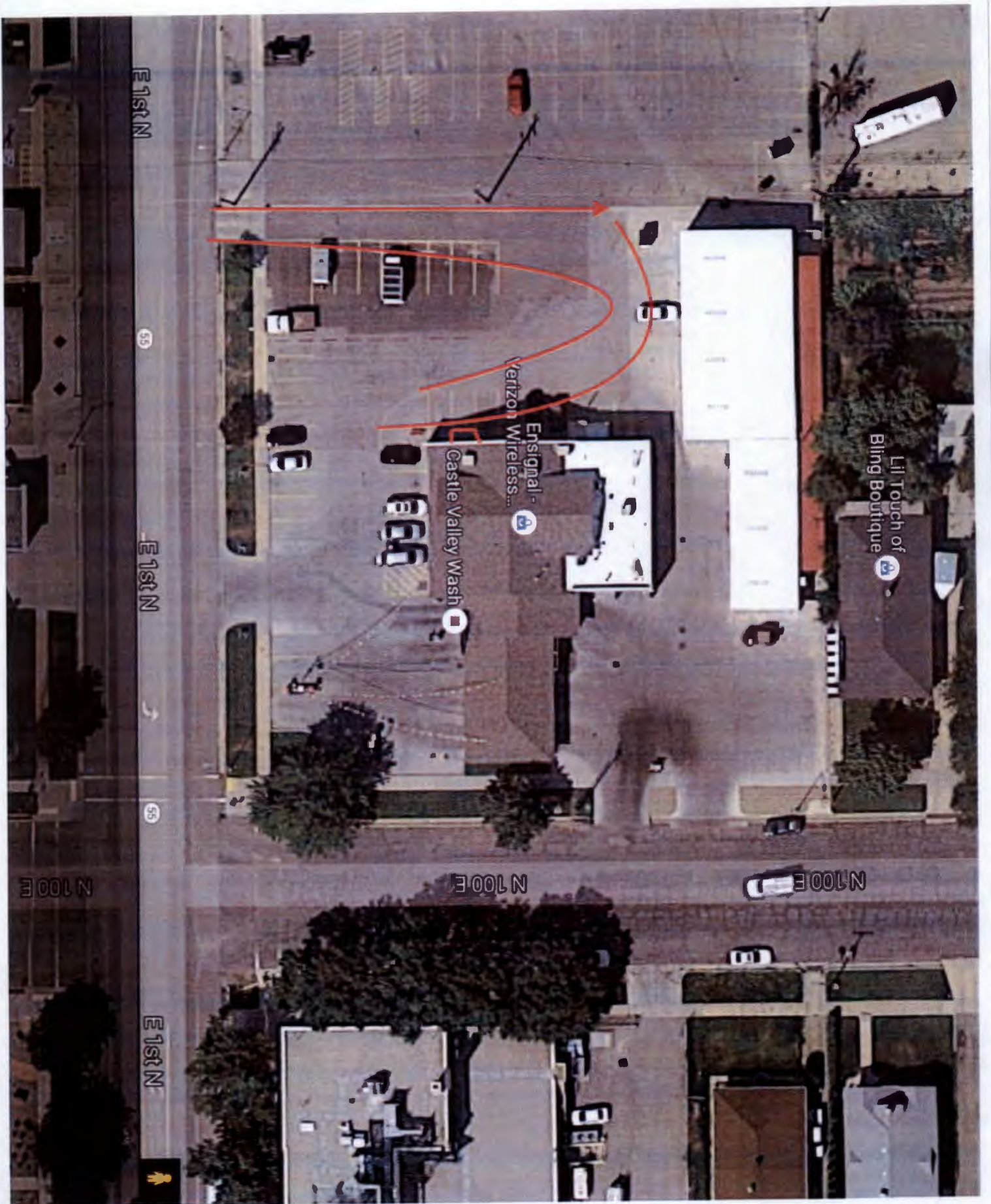
Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.

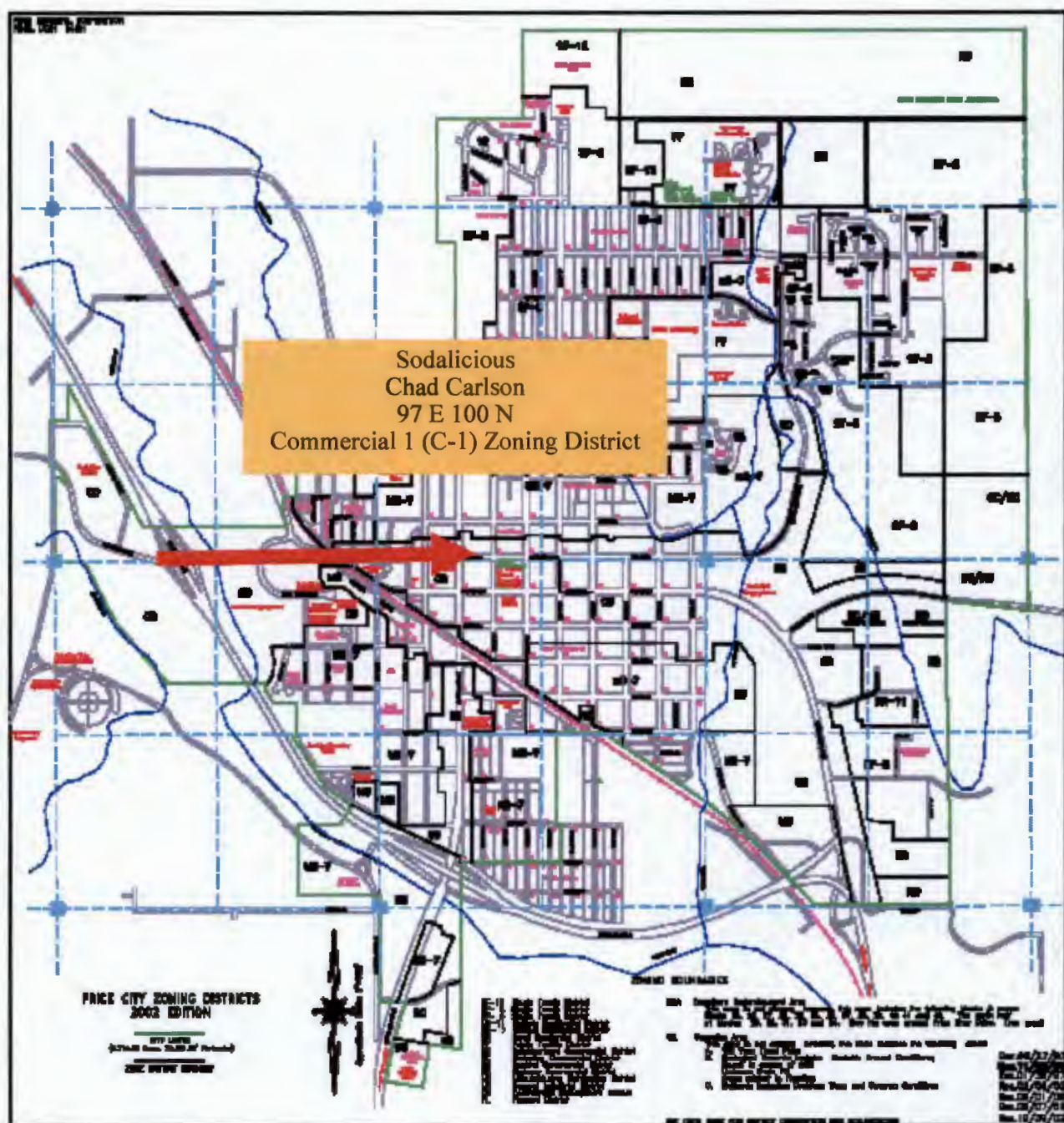
ATTACHED

756 Total Square Feet

Back Shop Available
Garage available







**ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY
PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR PLACEMENT
OF A SODA BUSINESS WITH DRIVE UP WINDOW CALLED SODALICIOUS AT 97 EAST 100 NORTH WITHIN THE
COMMERCIAL 1 ZONING DISTRICT.**

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and CHAD CARLSON, SODALICIOUS, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and CHAD CARLSON, SODALICIOUS.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and CHAD CARLSON, (Applicant), for the property located at: 97 EAST 100 NORTH.

Term: the term of this agreement commences on SEPTEMBER 12TH, 2016 and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Remove not more than four (4) parking spaces from the overall site to accommodate the drive-up window finding that changes in the business mix at the overall site have reduced the parking need by four (4) parking spaces.
 - Restriping of parking lot to clearly identify drive-up lane and all parking required.
- Placement of reflective indicators on utility pole adjacent to identified business ingress point to mitigate potential vehicle/pole collisions finding that the ingress is narrow and the utility pole is very close to the ingress.
 - Coordinate the enclosure or other treatment of the gap immediately to the west of the ingress in the gutter overshot with the Price City Public Works Department to prevent accident or injury.
- Submission of business and way-finding signage to the Price City Planning Department prior to installation for potential approval finding that properly reviewed and approved signage increased commercial activity in the community.
- No food prep on-site that requires cooking or grease finding that no commercial kitchen equipment is in place including a grease/smoke hood and no waste water grease trap or sampling manhole is present to protect the waste water system.
- Garbage dumpster to be maintained in an enclosed area and serviced at a frequency to prevent nuisance odors in the area finding that prevention of accumulations of garbage and odors is in the best interest of the community.
- Maintain or increase the existing minimum five percent (5%) landscaping at the overall site finding that properly landscaped commercial businesses and corridors improves the community aesthetic and is consistent with the goals in the Price City General Plan.
- Complete and submit a Price River Water Improvement District (PRWID) waste water survey finding that properly understood waste water discharges mitigate negative impacts to the waste water collection system.
- All renovations and construction work at the business location to be completed under the auspices of a Price City Building Permit and building inspection finding that properly permitted and inspected building alterations protect the health, safety and welfare of the community.
- Procurement of a Price City Business License prior to business operation finding that properly licensed business increase the commercial activity in the community.
- No conditions at the property or structure that violate the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS _____ **DAY OF** _____, 20____.

Price City

Applicant:

By Robert Oliver, Chair

CHAD CARLSON

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: A DRIVE-UP SODA
BUSINESS LOCATED AT 97 EAST 100
NORTH, WITHIN THE COMMERCIAL 1 (C-
1) ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____

DATE _____